

# PRELIMINARY - FINAL SITE PLAN APPLICATION

FOR THE PROPOSED CHANGE OF USE  
OF THE EXISTING COMMERCIAL BUILDING  
TO PROPOSED USE

# STARBUCKS



LOCATED AT  
30 POMPTON AVENUE  
LOT 44 BLOCK 202  
TOWNSHIP OF VERONA  
ESSEX COUNTY, NEW JERSEY

SITE DATA CHART			
EXISTING ZONE : ETC (EXTENDED TOWN CENTER) ZONE DISCTRICK			
EXISTING TRACT : 4.890 ACRES (TOTAL)			
BLOCK 202 LOT 44: 142,952 SQ.FT. / 3.282 ACRES			
OWNER :	EVI REALTY INCORPORATED		
APPLICANT:	1093 SMITH MANOR BLVD. WEST ORANGE, NJ 07052		

EXISTING USE(S)	SITE ADDRESS	PERMITTED	CODE SECTION
DCH MONTCLAIR ACURA	100 BLOOMFIELD AVENUE	YES	§150-17.15 D. (1)
FAMOUS RAYS PIZZA OF NY	10 POMPTON AVENUE	YES	§150-17.15 A. (10)
OUTDOOR SEATING	10 POMPTON AVENUE	YES	§150-17.15 B. (2)
HUNTINGTON LEARNING CENTER	10 POMPTON AVENUE	YES	§150-17.15 A. (10)
POMPTON SPA	14 POMPTON AVENUE	YES	§150-17.15 A. (18)
CHASE BANK	30 POMPTON AVENUE	YES	§150-17.15 A. (11)
PROPOSED USE(S)	SITE ADDRESS	PERMITTED	CODE SECTION
DCH MONTCLAIR ACURA	100 BLOOMFIELD AVENUE	NO CHANGE	§150-17.15 D. (1)
FAMOUS RAYS PIZZA OF NY	10 POMPTON AVENUE	NO CHANGE	§150-17.15 A. (10)
OUTDOOR SEATING	10 POMPTON AVENUE	YES	§150-17.15 B. (2)
HUNTINGTON LEARNING CENTER	10 POMPTON AVENUE	NO CHANGE	§150-17.15 A. (12)
POMPTON SPA	14 POMPTON AVENUE	NO CHANGE	§150-17.15 A. (15)
STARBUCKS COFFEE	30 POMPTON AVENUE	YES	§150-17.15 A. (10)
OUTDOOR SEATING	30 POMPTON AVENUE	YES	§150-17.15 B. (2)

### ETC ZONE DISTRICT REQUIREMENTS §150-17.15 AREA, YARD AND BULK REGULATIONS

CODE SECT.	DESCRIPTION	REQUIRED (CODE)	EXISTING/PROPOSED	COMPLIANCE
§150-17.15 C. (1)	MINIMUM LOT SIZE	12,000 SQ.FT.	142,950.0 SF. (3.282 ACRES)	YES
§150-17.15 C. (2)	MINIMUM LOT WIDTH	100 FT.	764.53 FT. CORNER LOT	YES
§150-17.15 C. (3)	MINIMUM FRONT YARD SETBACK BLOOMFIELD AVENUE	30 FT.	31.6 FT. (No Change) (ACURA)	YES
§150-17.15 C. (3)	MINIMUM FRONT YARD SETBACK POMPTON AVENUE	30 FT.	22.6 FT. (No Change) (RAY'S PIZZA) 50.5 FT. (No Change) (CHASE BANK)	YES
§150-17.15 C. (3)	MINIMUM FRONT YARD SETBACK CLAREMONT AVENUE	30 FT.	88 FT. (No Change) (CHASE BANK)	YES
§150-17.15 C. (4)	MINIMUM SIDE YARD SETBACK (ONE)	20 FT.	N/A CORNER LOT	N/A
§150-17.15 C. (5)	MINIMUM SIDE YARD SETBACK (BOTH)	40 FT.	N/A CORNER LOT	N/A
§150-17.15 C. (7)	MINIMUM REAR YARD SETBACK	30 FT.	45.0 FT. (No Change) (ACURA) 50.5 FT. (No Change) (CHASE BANK)	YES
§150-17.15 C. (8)	MAXIMUM HEIGHT PRINCIPAL BLDG.	3 STORIES 50 FEET	< 50 FT./2 STORIES	YES
§150-17.15 C. (9)	MAXIMUM HEIGHT ACCESSORY BLDG.	15 FEET	EXIST. 15 FT. DRIVE THRU PROP. 0 FT.	YES
§150-17.15 C. (10)	MAXIMUM LOT COVERAGE	40%	24.6%	YES
§150-17.15 C. (11)	MAXIMUM IMPROVED LOT COVERAGE	80%	89.9%	△ EXIST. NON-COMPLIANCE EXCEEDS 49% COVERAGE
§150-17.15 C. (12)	FLOOR AREA RATIO	100%	24.6%	YES
§150-17.15 C. (13)	MIN. LANDSCAPED BUFFER ALONG RESIDENTIAL ZONE	15 FEET	5.1 FT	△ EXIST. NON-COMPLIANCE DOES NOT MEET MIN. BUFFER

### OUTDOOR SEATING

§150-17.23 E.	OUTDOOR RESTAURANT SEATING FAMOUS RAYS PIZZA	49% OF INDOOR (8.8 SEATS)	20 SEATS IN, 18 SEATS OUT. (80%)	△ EXIST. NON-COMPLIANCE EXCEEDS 49%
§150-17.23 E.	OUTDOOR RESTAURANT SEATING STARBUCKS	49% OF INDOOR (19.6 SEATS)	40 SEATS IN, 14 SEATS OUT. (35%)	YES

### OFF STREET PARKING AND LOADING

§150-12.1 B. (1)	MINIMUM NUMBER OF SPACES	113 SPACES (SEE CALC'S)	199 SPACES TOTAL ON-SITE (ALL USES)	YES
§150-12.4 B. (5)	MIN. PARK. SETBACK (BLOOMFIELD)	30 FT.	2.5 FT.	△ EXIST. NON-COMPLIANCE DOES NOT MEET MIN.
§150-12.4 B. (5)	MIN. PARK. SETBACK (POMPTON)	30 FT.	2.0 FT.	△ EXIST. NON-COMPLIANCE DOES NOT MEET MIN.
§150-12.4 B. (5)	MIN. PARK. SETBACK (CLAREMONT)	30 FT.	3.5 FT.	△ EXIST. NON-COMPLIANCE DOES NOT MEET MIN.
§150-5.3 F. (2)	PAVING OF REQUIRED YARDS	30 FT.	5.1 FT	△ EXIST. NON-COMPLIANCE DOES NOT MEET MIN.
§150-8.4 B.	NO PARKING/STORAGE OF VEHICLES IN FRONT YARD	NOT PERMITTED	EXISTING TO REMAIN	△ EXIST. NON-COMPLIANCE
§150-12.5 B.	LOADING SPACE - 1 SP. FOR EACH 10,000 SQ.FT. OF FLOOR AREA	1 SP. REQUIRED 12' X 30'	12' X 30' STARBUCKS	YES

### BUSINESS SIGNS - ON BUILDING

§150-12.1 B. (1)	BUSINESS SIGN(S) (AREA)	73 SQ.FT. POMPTON 33 SQ.FT. CLAREMONT	21 SQ.FT. 25 SQ.FT.	YES
§150-12.1 B. (1)	BUSINESS SIGN(S) (HEIGHT)	4 FT. POMPTON 4 FT. CLAREMONT	1.5 FT. POMPTON 5 FT. CLAREMONT REQUESTED	△ NO (VARIANCE REQ'D.)

### DIRECTIONAL SIGNS

§150-7.9 V. (1)	SIGN - SQ.FT.	4 SQ.FT. EA.	4 SQ.FT. EA.	YES
§150-7.9 V. (1)	SIGN - HEIGHT	3 FT.	3 FT.	YES
§150-7.9 V. (1)	SIGN - DISTANCE TO PROP. LINE	5 FT.	5 FT.	YES

### FREE STANDING PYLON SIGN

§150-7.9 X (2)	FREE STANDING SIGN	NOT PERMITTED	ONE PYLON SIGN 25 FEET HIGH	△ NO (VARIANCE REQ'D.)
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CODE SECT.	DESCRIPTION	REQUIRED (CODE)	EXISTING/PROPOSED	COMPLIANCE
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- △ §150-5.3 E. (4) LOT CONTAINING THREE FRONTAGES  
\*A LOT CONTAINING FRONTAGE UPON THREE IMPROVED STREETS SHALL CONTAIN THREE REQUIRED FRONT YARDS. THE FOURTH REQUIRED SETBACK SHALL BE A REQUIRED REAR YARD SETBACK
- △ APPROVED BY THE BOROUGH OF VERONA PLANNING BOARD ON OCTOBER 13TH 2016 AND MEMORIALIZED ON NOVEMBER 10TH 2016.
- △ VARIANCE(S) REQUIRED.  
(1) BUILDING MOUNTED SIGN WHICH FACES CLAREMONT IS 5 FEET HIGH WHEN ONLY 4 FEET IS PERMITTED.  
(2) FREE STANDING PYLON SIGN REQUESTED WHERE NONE ARE PERMITTED.

### NOTES:

- RAMP WALL DESIGN CALCULATIONS AND SECTIONS, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER, MUST BE SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO ISSUANCE OF A BUILDING PERMIT. A LETTER FROM THE PROFESSIONAL ENGINEER STATING THAT THE WALL WAS CONSTRUCTED ACCORDING TO THE PLANS MUST BE SUBMITTED BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED FOR ANY USE.
- ANY RETAINING WALLS MUST BE INSPECTED BY A LICENSED PROFESSIONAL STRUCTURAL ENGINEER APPROVED BY THE TOWNSHIP ENGINEER DURING CONSTRUCTION. THE APPLICANT MUST POST SUFFICIENT ESCROW MONIES TO COVER THIS INSPECTION.
- IF APPLICABLE, THE APPLICANT AND/OR ITS ASSIGNEE MUST SUBMIT AND ANNUAL REPORT, INCLUDING ALL PREVENTIVE AND CORRECTIVE MAINTENANCE FOR THE STRUCTURAL STORMWATER MANAGEMENT MEASURES, IF ANY, ARE INCORPORATED INTO THE DESIGN OF THE DEVELOPMENT, TO THE TOWNSHIP ENGINEER'S OFFICE EVERY MAY 1ST.
- THE APPLICANT MUST REPLACE ANY SIDEWALK AND CURB IN DISREPAIR ALONG THE PROPERTY FRONTAGE AS DIRECTED BY THE TOWNSHIP ENGINEER AND OR THE COUNTY OF ESSEX ENGINEER AS THEIR INTERESTS MAY APPEAR.
- THE APPLICANT IS RESPONSIBLE FOR ALL SEWER AND WATER TIE IN FEES.
- THE PLAN IS SUBJECT TO REVIEW BY, BUT NOT LIMITED TO THE ESSEX COUNTY PLANNING BOARD AND HEP SOIL CONSERVATION DISTRICT.
- THE APPLICANT MUST OBTAIN ALL PERMITS NECESSARY FROM, BUT NOT LIMITED TO THE NJDEP, HEP SOIL CONSERVATION DISTRICT, ESSEX COUNTY AND/OR TOWNSHIP OF VERONA.
- THE APPLICANT MUST PROVIDE A CONSTRUCTION AND MAINTENANCE BOND IN ACCORDANCE WITH THE MUNICIPAL LAND USE LAW.
- THE APPLICANT MUST PROVIDE AN ESCROW DEPOSIT AS REQUIRED BY THE TOWNSHIP ENGINEER FOR INSPECTION SERVICES.

### PARKING REQUIREMENTS

§150-12.6 C. PARKING SCHEDULE:  
DCH MONTCLAIR ACURA: (SALE OF NEW/USED MOTOR VEHICLES)  
6 SPACES PLUS 1 SPACE FOR EVERY 700 FEET OF GFA  
FAMOUS RAYS PIZZA OF NY: (EATING/DRINKING PLACES)  
1 SPACE FOR EVERY 2 SEATS DEVOTED TO SERVICE.  
HUNTINGTON LEARNING CENTER: (OFFICE) UNDER 10,000 SQUARE FEET  
6 SPACES PER EVERY 1,000 SQUARE FEET OF GFA  
POMPTON SPA: (PERSONAL SERVICE ST.)  
1 SPACE PER 300 SQUARE FEET OF GFA  
STARBUCKS COFFEE: (EATING/DRINKING PLACES)  
1 SPACE FOR EVERY 2 SEATS DEVOTED TO SERVICE.

### PARKING CALCULATIONS:

DCH MONTCLAIR ACURA:  
23,573 SQ.FT./700 + 6 = 40 SPACES  
FAMOUS RAYS PIZZA OF NY:  
38 SEATS (20 INSIDE/18 OUTSIDE) 38/2 = 19 SPACES  
HUNTINGTON LEARNING CENTER:  
2,400 SQ.FT./1000 = 2.4 X 6 = 14.4 (15) SPACES  
POMPTON SPA:  
3,480 SQ.FT./300 = 11.6 X 1 = 11.6 (12) SPACES  
STARBUCKS COFFEE:  
54 SEATS/2 = 27 SPACES

TOTAL SPACES REQUIRED = 113 SPACES  
TOTAL SPACES ON-SITE = 199 SPACES

### LIST OF GOVERNMENTAL APPROVALS

- (BEFORE THE COMMENCEMENT OF ANY WORK)
- ESSEX COUNTY PLANNING BOARD
  - TOWNSHIP OF VERONA PLANNING BOARD
  - HUDSON - ESSEX - PASSAIC SOIL CONSERVATION DISTRICT
  - TOWNSHIP OF VERONA BUILDING DEPARTMENT

### GENERAL NOTES:

- SUBJECT PROPERTY IS SERVICED BY THE TOWNSHIP OF VERONA'S MUNICIPAL PUBLIC WATER AND SANITARY SEWER SYSTEM.
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE STATE, COUNTY AND MUNICIPAL REQUIREMENTS.
- CONTRACTOR IS ADVISED THAT ALL APPLICABLE OSHA SAFETY REGULATIONS MUST BE FOLLOWED DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO POTENTIAL SHEETING AND OR SHORING OF ANY EXCAVATIONS. THESE ENGINEERING DRAWINGS ARE NOT INTENDED TO ILLUSTRATE METHODS OF CONSTRUCTION OF THE RETAINING WALL(S) OR EXCAVATION DETAILS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EVALUATE ACTUAL SITE CONDITIONS AND COMPLY WITH ALL NECESSARY SAFETY REGULATIONS.

### APPROVALS TOWNSHIP OF VERONA PLANNING BOARD

PLANNING BOARD CHAIRPERSON	
PLANNING BOARD SECRETARY	
TOWNSHIP ENGINEER	

### 200 FOOT PROPERTY OWNERS LIST

Town	Block	Lot	Qualifier	Location	Owner	Owner Address	Owner City/State	Owner Zip
Verona Township	201	15.01		141-151 BLOOMFIELD AVENUE	D&R VERONA URBAN RENEWAL, LLC	570 COMMERCE BOULEVARD	CARLSTADT, NJ	07022
Verona Township	201	19		133 BLOOMFIELD AVENUE	133 BLOOMFIELD AVE. LLC	179 WALNUT STREET	MONTCLAIR, NEW JERSEY	07042
Verona Township	201	20		120 BLOOMFIELD AVENUE	GENCO ENTERPRISES OF	161 SATTERTWAITE AVENUE	NUTLEY, NJ	07110
Verona Township	201	21		125 BLOOMFIELD AVENUE	AMADEO, STEVEN	24 HAMILTON DR E	NORTH CALDWELL, NJ	07006
Verona Township	201	22		109 BLOOMFIELD AVENUE	NJ ENERGY REALTY LLC	536 MAIN ST	NEW PALTZ, NY	12561
Verona Township	202	27		144 BLOOMFIELD AVENUE	VJ PLAZA II, LLC	2035 ROUTE 27 SUITE 2150	EDISON, NJ	08817
Verona Township	202	28		17 MONTCLAIR AVENUE	VENEZIA, GINA (TRUSTEE FRATULLA)	17 MONTCLAIR AVENUE	VERONA, NJ	07044
Verona Township	202	29		19 MONTCLAIR AVENUE	DAGGETT, MICHAEL & MARY ANN	19 MONTCLAIR AVENUE	VERONA, NJ	07044
Verona Township	202	30		21 MONTCLAIR AVENUE	SHORTEN, ELIZABETH J.	21 MONTCLAIR AVE	VERONA, NJ	07044
Verona Township	202	31		23 MONTCLAIR AVENUE	YANNON, ROBERT & LAUREN	23 MONTCLAIR AVENUE	VERONA, NJ	07044
Verona Township	202	32		25 MONTCLAIR AVENUE	HUZE, HEIDI & ET AL.	25 MONTCLAIR AVENUE	VERONA, NJ	07044
Verona Township	202	33		27 MONTCLAIR AVENUE	KNOETIG, LOUIS & RIVERA SARINA	27 MONTCLAIR AVENUE	VERONA, NJ	07044
Verona Township	202	35		93 CLAREMONT AVENUE	FERENCE, MARCIN M & JOANNA K	93 CLAREMONT AVE	VERONA, NJ	07044
Verona Township	202	35.01		89 CLAREMONT AVENUE	ANTICINO, MATTHEW JOSEPH	89 CLAREMONT AVENUE	VERONA, NEW JERSEY	07044
Verona Township	202	36		85 CLAREMONT AVENUE	JOHNSON, MICHAEL GLENN & LAUREN M	85 CLAREMONT AVENUE	VERONA, NJ	07044
Verona Township	202	37		81 CLAREMONT AVENUE	DENUTO, ROBERT & MOLINARO T.	81 CLAREMONT AVENUE	VERONA, NEW JERSEY	07044
Verona Township	202	38		77 CLAREMONT AVENUE	HILL, JAMES P.	77 CLAREMONT AVENUE	VERONA, NJ	07044
Verona Township	202	39		73 CLAREMONT AVENUE	ZHOU, QUAN & CHU XIANG	73 CLAREMONT AVENUE	VERONA, NJ	07044
Verona Township	202	40		69 CLAREMONT AVENUE	NIENGA, ANN N & MOHABIR, NARN D	69 CLAREMONT AVENUE	VERONA, NJ	07044
Verona Township	202	41		65 CLAREMONT AVENUE	COSTANTINI, MICHAEL	65 CLAREMONT AVENUE	VERONA, NEW JERSEY	07044
Verona Township	202	42		61 CLAREMONT AVENUE	ZAMMITO, LINA	61 CLAREMONT AVENUE	VERONA, NEW JERSEY	07044
Verona Township	202	43		57 CLAREMONT AVENUE	CHEN, CINDY K	57 CLAREMONT AVENUE	VERONA, NEW JERSEY	07044
Verona Township	202	44		100 BLOOMFIELD AVENUE	EVI REALTY INC./M. UZBE	1093 SMITH MANOR BLVD	WEST ORANGE, NJ	07052
Verona Township	202	46		142 BLOOMFIELD AVENUE	IVM REALTY, LLC	1093 SMITH MANOR BLVD	WEST ORANGE, NEW JERSEY	07052
Verona Township	203	20		15 MT. PROSPECT AVENUE	ROZSA, ANDREW & THERESA	15 MT. PROSPECT AVENUE	VERONA, NEW JERSEY	07044
Verona Township	203	21		1 MT. PROSPECT AVENUE	FRITZ REALTY LLC	1 MT. PROSPECT AVENUE	VERONA, NJ	07044
Verona Township	203	22		65 BLOOMFIELD AVENUE	ABBRUZZI REALTY	PO BOX 1162	REHOBOTH BEACH, DE	19971
Verona Township	204	1		15 POMPTON AVENUE	15 POMPTON, LLC/O PEP BOYS	108 TOWN PARK DRIVE NW	KENNESAW, GA	30144
Verona Township	204	2		32 BLOOMFIELD AVENUE	KINGSMAN CO. INC.'S KIN PROPERTIES	185 NW SPANISH RIVER BLVD	BOCA RATON, FLORIDA	33431
Verona Township	206	1		25 POMPTON AVENUE	25 POMPTON AVENUE	25 POMPTON AVENUE	VERONA, NEW JERSEY	07044
Verona Township	206	1	C0002	25 POMPTON AVENUE C002	GREENFIELD MANAGEMENT LLC	25 POMPTON AVENUE	VERONA, NJ	07044
Verona Township	206	1	C0003	25 POMPTON AVENUE C003	T.M.F. COMMERCIAL PROPERTIES	P.O. BOX 43480	UPPER MONTCLAIR, NJ	07043
Verona Township	206	1	C0004	25 POMPTON AVENUE C004	T.M.F. COMMERCIAL PROPERTIES	P.O. BOX 43480	UPPER MONTCLAIR, NJ	07043
Verona Township	206	1	C0005	25 POMPTON AVENUE C005	T.M.F. COMMERCIAL PROPERTIES	P.O. BOX 43480	UPPER MONTCLAIR, NJ	07043
Verona Township	206	1	C0006	25 POMPTON AVENUE C006	T.M.F. COMMERCIAL PROPERTIES	P.O. BOX 43480	UPPER MONTCLAIR, NJ	07043
Verona Township	206	1	C0008	25 POMPTON AVENUE C008	T.M.F. COMMERCIAL PROPERTIES	P.O. BOX 43480	UPPER MONTCLAIR, NJ	07043
Verona Township	206	1	C0009	25 POMPTON AVENUE C009	T.M.F. COMMERCIAL PROPERTIES	P.O. BOX 43480	UPPER MONTCLAIR, NJ	07043
Verona Township	206	1	C0010	25 POMPTON AVENUE C0010	T.M.F. COMMERCIAL PROPERTIES	P.O. BOX 43480	UPPER MONTCLAIR, NJ	07043
Verona Township	207	1		BEACON HILL	BEACON HILL ASSOCIATES	BEACON HILL	VERONA, NEW JERSEY	07044
Verona Township	207	1	C0042	3 LOUISBURG SQUARE	MOLLOY, ROBERT & DENISE	3 LOUISBURG SQUARE	VERONA, NJ	07044
Verona Township	207	1	C0043	2 LOUISBURG SQUARE	LIPSCOMB, DAMON M. & BRANDI D.	2 LOUISBURG SQ	VERONA, NJ	07044
Verona Township	207	1	C0044	1 LOUISBURG SQUARE	STEPHEN, FLORENCE & JAMES, STEPHEN	1 LOUISBURG SQ	VERONA, NJ	07044
Verona Township	807	17		50 POMPTON AVENUE	50 POMPTON AVENUE LLC	50 POMPTON AVENUE	VERONA, NEW JERSEY	07044
Verona Township	807	18		56 CLAREMONT AVENUE	UMANA, CHRISTOPHER	56 CLAREMONT AVE	VERONA, NJ	07044
Verona Township	807	19		60 CLAREMONT AVENUE	MARIA TERESA FARRIZO IRENOVICABLE	60 CLAREMONT AVENUE	VERONA, NJ	07044
Verona Township	807	20		64 CLAREMONT AVENUE	PEREIRA, NATALIE	64 CLAREMONT AVENUE	VERONA, NJ	07044
Verona Township	807	21		68 CLAREMONT AVENUE	KACZMAREK EDWARD & DONALD & STEVEN	68 CLAREMONT AVE	VERONA, NJ	07044

### UTILITIES TO BE CONTACTED

- |   |  |  |
|---|--|--|
| NEW JERSEY BELL TELEPHONE COMPANY:<br>540 BROAD STREET - ROOM 1005<br>NEWARK, NJ 07101<br>ATTN: CORPORATE SECRETARY | AMERICAN TELEPHONE & TELEGRAPH COMPANY<br>50 PATRICK DRIVE<br>FLANDERS, NJ 07836<br>ATTN: KARL GROSSMANN | PUBLIC SERVICE ELECTRIC & GAS COMPANY<br>80 PARK PLACE - 1BB<br>NEWARK, NJ 07102<br>ATTN: MANAGER CORPORATE PROPERTIES |
| PASADIC VALLEY WATER COMMISSION<br>1525 MAIN AVENUE<br>CLIFTON, NJ 07011<br>ATTN: CORPORATE SECRETARY               | MO<br>10 MARCELLO AVENUE<br>WEST ORANGE, NJ 07052<br>ATTN: JOHN SCOCCOLA                                 | COMCAST CABLE<br>800 MAIN AVENUE<br>LIVINGTON, NJ 07033  |

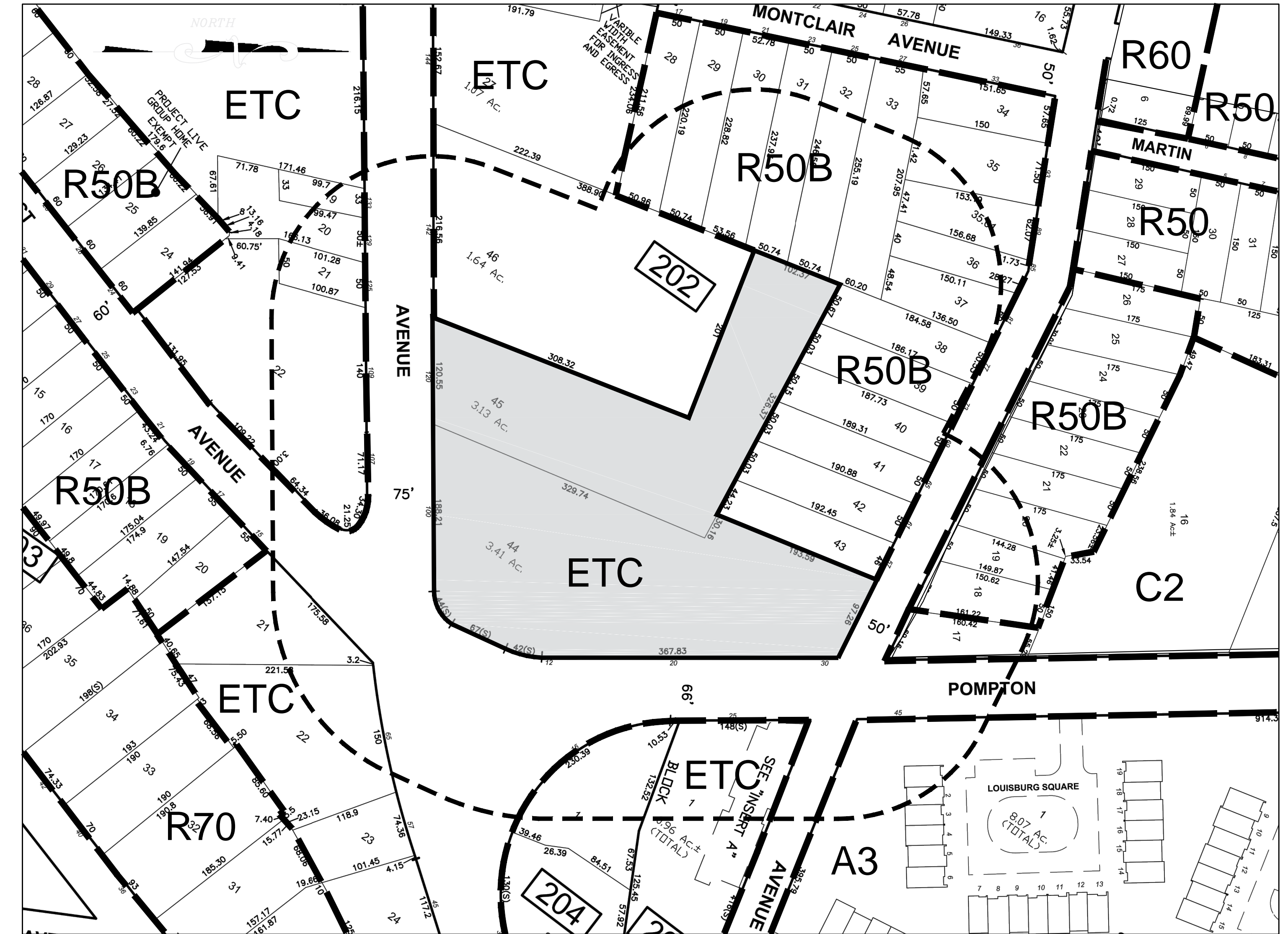
REVISIONS	BY	DATE

**COVER SHEET/ZONING ANALYSIS**



**AERIAL MAP**  
MAP REFERENCE: 2023 NEARMAP IMAGERY

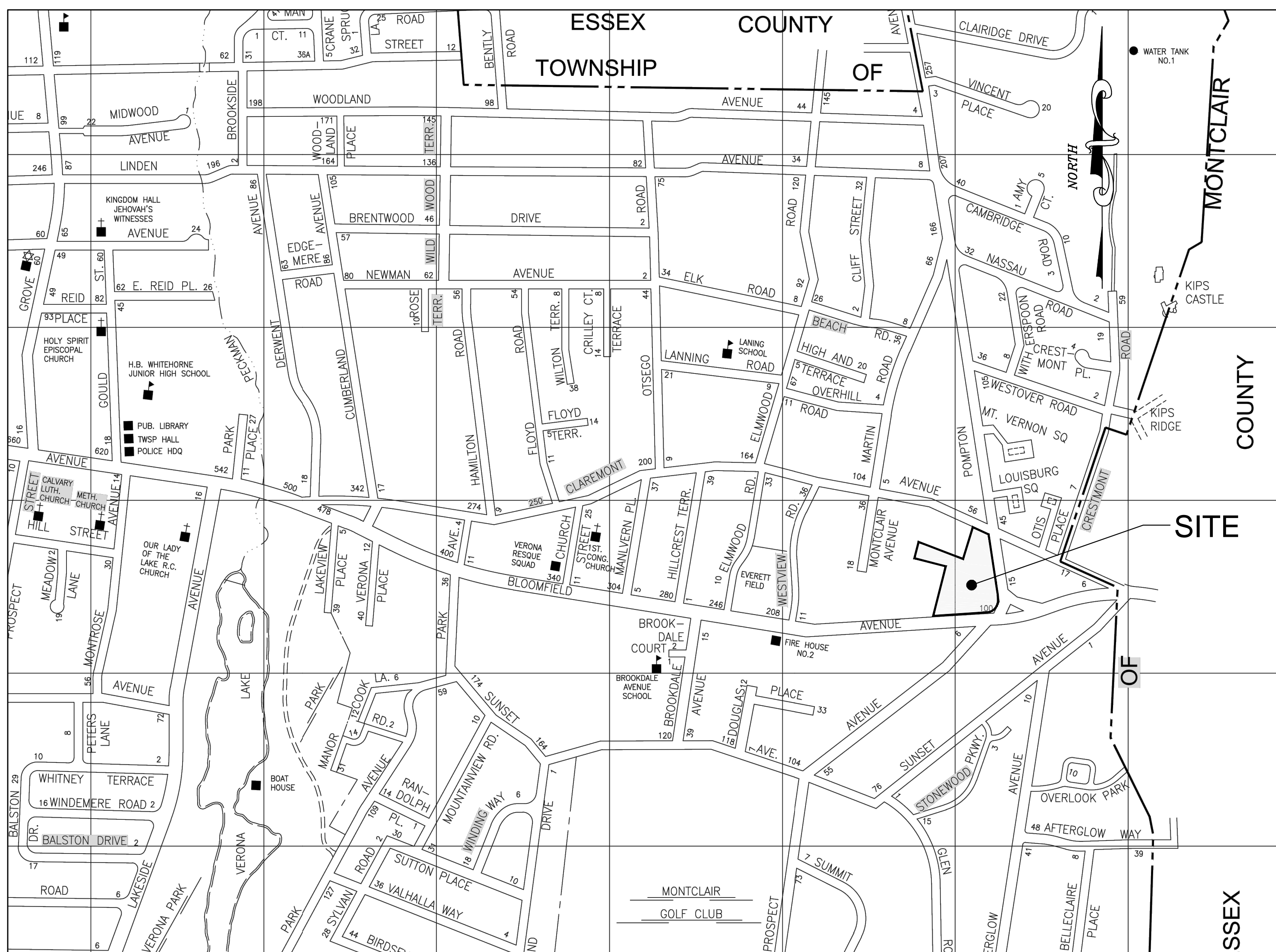
SCALE 1"=100'



**EXISTING ZONING MAP**  
MAP REFERENCE: PORTIONS OF THE EXISTING TAX MAPS OF THE TOWNSHIP OF VERONA (SHEET NUMBERS 2 AND 6)

SCALE 1"=100'

- |                            |                                     |
|----------------------------|-------------------------------------|
| R50 (HIGH DENSITY)         | ETC (EXTENDED TOWN CENTER)          |
| R50B (MEDIUM/HIGH DENSITY) | C2 (PROFESSIONAL OFFICE & BUSINESS) |
| R60 (MEDIUM DENSITY)       | A3 (TOWNHOUSE)                      |
| R70 (LOW DENSITY)          |                                     |



**LOCAL STREET MAP**  
MAP REFERENCE: PORTION OF THE OFFICIAL STREET MAP OF THE TOWNSHIP OF VERONA

SCALE 1"=100'

**AERIAL · LOCATION · ZONING MAPS**  
**STARBUCKS**  
30 POMPTON AVENUE  
LOT 44 BLOCK 202  
TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY

DATE	BY	DESCRIPTION

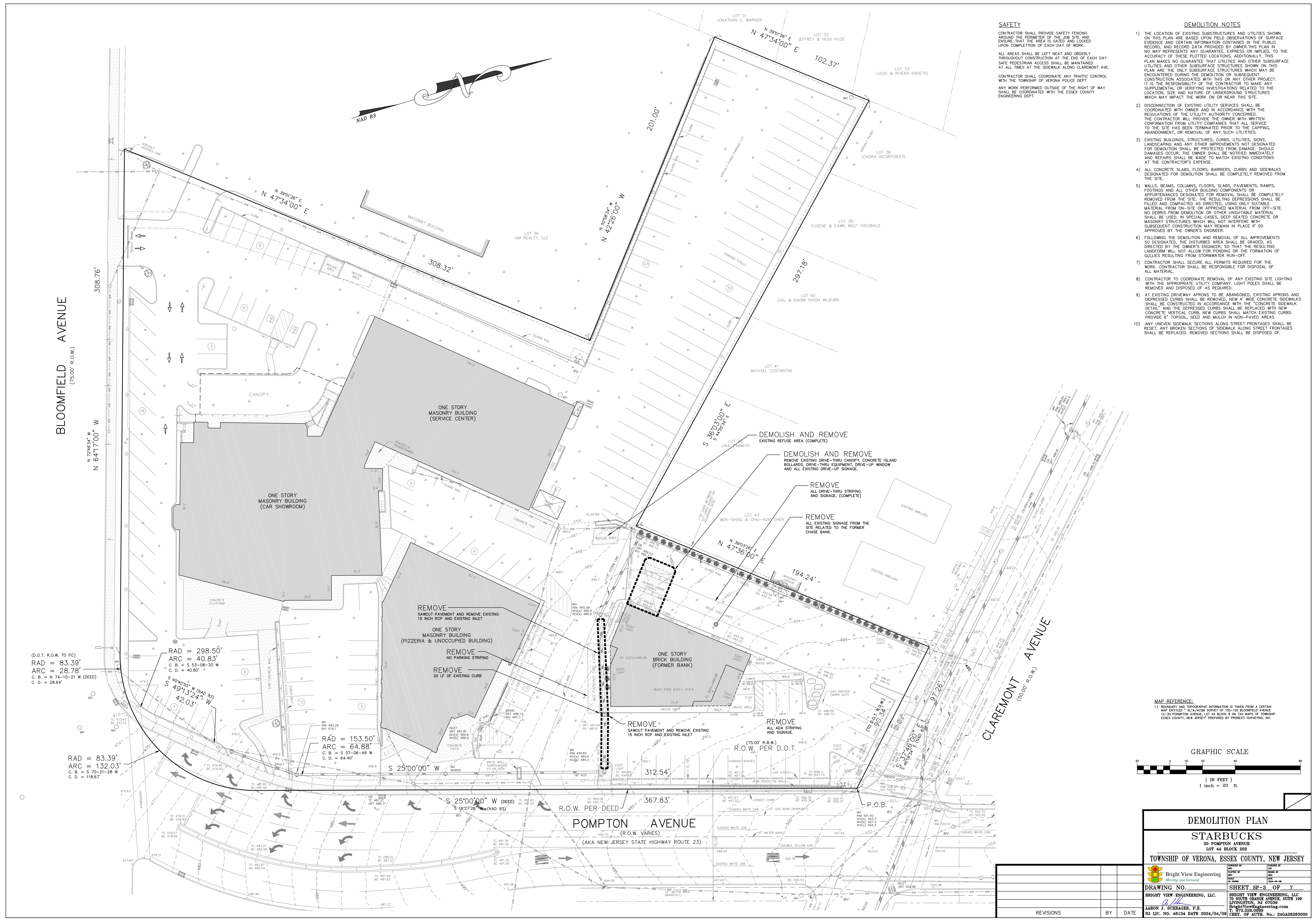
Bright View Engineering  
Moving you forward  
**DRAWING NO.** SHEET SP-2 OF 7  
BRIGHT VIEW ENGINEERING, LLC  
70 SOUTH GRANGER AVENUE, SUITE 100  
LIVINGSTON, NJ 07039  
BrightViewEngineering.com  
732.228.0249  
AARON J. SCHRAGER, P.E.  
NJ LIC. NO. 46134 DATE 2024/04/09  
CERT. OF AUTH. No.: 24GA28283000

**SAFETY**

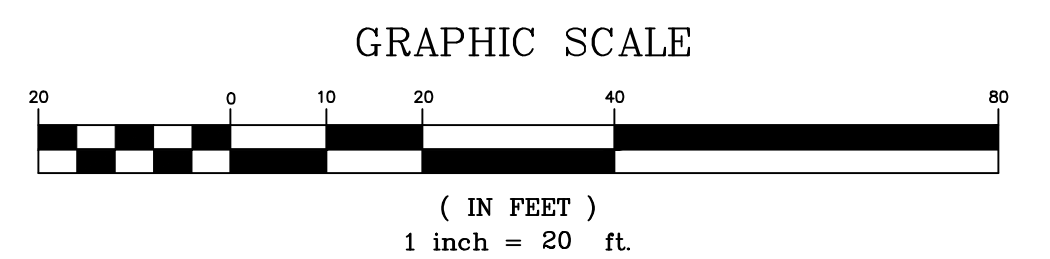
CONTRACTOR SHALL PROVIDE SAFETY FENCING AROUND THE PERIMETER OF THE JOB SITE AND ENSURE THAT THE AREA IS GATED AND LOCKED UPON COMPLETION OF EACH DAY OF WORK. ALL AREAS SHALL BE LEFT NEAT AND ORDERLY THROUGHOUT CONSTRUCTION AT THE END OF EACH DAY. SAFE PEDESTRIAN ACCESS SHALL BE MAINTAINED AT ALL TIMES AT THE SIDEWALK ALONG CLAREMONT AVE. CONTRACTOR SHALL COORDINATE ANY TRAFFIC CONTROL WITH THE TOWNSHIP OF VERONA POLICE DEPT. ANY WORK PERFORMED OUTSIDE OF THE RIGHT OF WAY SHALL BE COORDINATED WITH THE ESSEX COUNTY ENGINEERING DEPT.

**DEMOLITION NOTES**

- 1) THE LOCATION OF EXISTING SUBSTRUCTURES AND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON FIELD OBSERVATIONS OF SURFACE EVIDENCE AND CERTAIN INFORMATION CONTAINED IN THE PUBLIC RECORD, AND RECORD DATA PROVIDED BY OWNER. THIS PLAN IN NO WAY REPRESENTS ANY GUARANTEE, EXPRESS OR IMPLIED, TO THE ACCURACY OF THESE PLOTTED LOCATIONS. ADDITIONALLY, THIS PLAN MAKES NO GUARANTEE THAT UTILITIES AND OTHER SUBSURFACE UTILITIES AND OTHER SUBSURFACE STRUCTURES SHOWN ON THIS PLAN ARE THE ONLY SUBSURFACE STRUCTURES WHICH MAY BE ENCOUNTERED DURING THE DEMOLITION OR SUBSEQUENT CONSTRUCTION ASSOCIATED WITH THIS OR ANY OTHER PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ANY SUPPLEMENTAL OR VERIFYING INVESTIGATIONS RELATED TO THE LOCATION, SIZE AND NATURE OF UNDERGROUND STRUCTURES WHICH MAY IMPACT THE WORK ON OR NEAR THIS SITE.
- 2) DISCONNECTION OF EXISTING UTILITY SERVICES SHALL BE COORDINATED WITH OWNER AND IN ACCORDANCE WITH THE REGULATIONS OF THE UTILITY AUTHORITY CONCERNED. THE CONTRACTOR WILL PROVIDE THE OWNER WITH WRITTEN CONFIRMATION FROM UTILITY COMPANIES THAT ALL SERVICE TO THE SITE HAS BEEN TERMINATED PRIOR TO THE CAPPING, ABANDONMENT, OR REMOVAL OF ANY SUCH UTILITIES.
- 3) EXISTING BUILDINGS, STRUCTURES, CURBS, UTILITIES, SIGNS, LANDSCAPING AND ANY OTHER IMPROVEMENTS NOT DESIGNATED FOR DEMOLITION SHALL BE PROTECTED FROM DAMAGE. SHOULD DAMAGES OCCUR, THE OWNER SHALL BE NOTIFIED IMMEDIATELY AND REPAIRS SHALL BE MADE TO MATCH EXISTING CONDITIONS AT THE CONTRACTOR'S EXPENSE.
- 4) ALL CONCRETE SLABS, FLOORS, BARRIERS, CURBS AND SIDEWALKS DESIGNATED FOR DEMOLITION SHALL BE COMPLETELY REMOVED FROM THE SITE.
- 5) WALLS, BEAMS, COLUMNS, FLOORS, SLABS, PAVEMENTS, RAMPS, FOOTINGS AND ALL OTHER BUILDING COMPONENTS OR APPURTENANCES DESIGNATED FOR REMOVAL SHALL BE COMPLETELY REMOVED FROM THE SITE. THE RESULTING DEPRESSIONS SHALL BE FILLED AND COMPACTED AS DIRECTED, USING ONLY SUITABLE MATERIAL FROM ON-SITE OR APPROVED MATERIAL FROM OFF-SITE. NO DEBRIS FROM DEMOLITION OR OTHER UNSUITABLE MATERIAL SHALL BE USED. IN SPECIAL CASES, DEEP SEATED CONCRETE OR MASONRY STRUCTURES WHICH WILL NOT INTERFERE WITH SUBSEQUENT CONSTRUCTION MAY REMAIN IN PLACE IF SO APPROVED BY THE OWNER'S ENGINEER.
- 6) FOLLOWING THE DEMOLITION AND REMOVAL OF ALL IMPROVEMENTS SO DESIGNATED, THE DISTURBED AREA SHALL BE GRADED, AS DIRECTED BY THE OWNER'S ENGINEER, SO THAT THE RESULTING LANDFORM WILL NOT ALLOW FOR PONDING OR THE FORMATION OF GULLIES RESULTING FROM STORMWATER RUN-OFF.
- 7) CONTRACTOR SHALL SECURE ALL PERMITS REQUIRED FOR THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL MATERIAL.
- 8) CONTRACTOR TO COORDINATE REMOVAL OF ANY EXISTING SITE LIGHTING WITH THE APPROPRIATE UTILITY COMPANY. LIGHT POLES SHALL BE REMOVED AND DISPOSED OF AS REQUIRED.
- 9) AT EXISTING DRIVEWAY APRONS TO BE ABANDONED, EXISTING APRONS AND DEPRESSED CURBS SHALL BE REMOVED. NEW 4" WIDE CONCRETE SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "CONCRETE SIDEWALK DETAIL" AND THE DEPRESSED CURBS SHALL BE REPLACED WITH NEW CONCRETE VERTICAL CURBS. NEW CURBS SHALL MATCH EXISTING CURBS. PROVIDE 6" TOPSOIL, SEED AND MULCH IN NON-PAVED AREAS.
- 10) ANY UNEVEN SIDEWALK SECTIONS ALONG STREET FRONTS SHALL BE RESET. ANY BROKEN SECTIONS OF SIDEWALK ALONG STREET FRONTS SHALL BE REPLACED. REMOVED SECTIONS SHALL BE DISPOSED OF.

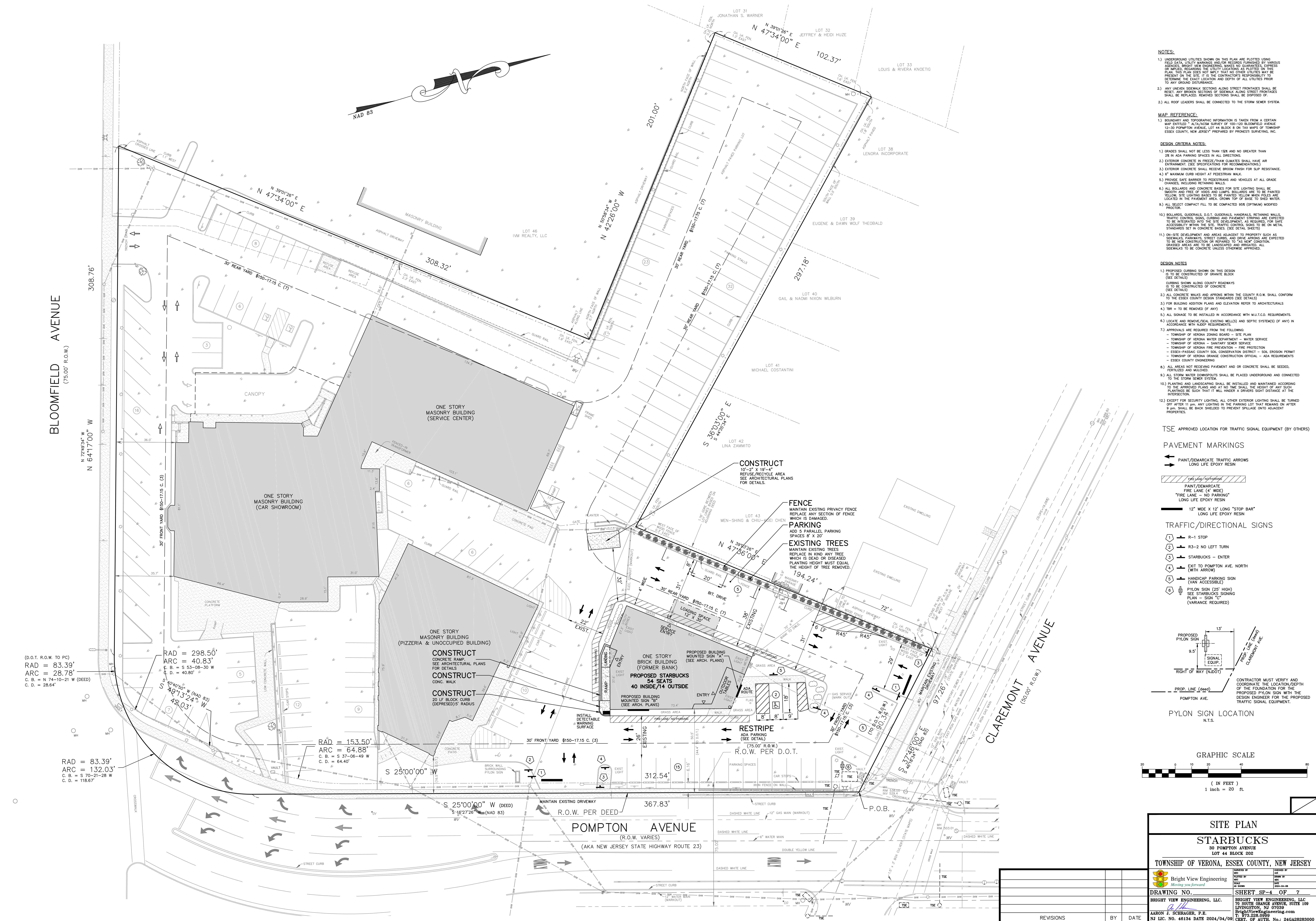


**MAP REFERENCE:**  
 1) BOUNDARY AND TOPOGRAPHIC INFORMATION IS TAKEN FROM A CERTAIN MAP ENTITLED "A 1/4" ACRES SURVEY OF 100-126 BLOOMFIELD AVENUE, 12-30 POMPTON AVENUE, LOT 44 BLOCK 8 ON TAX MAPS OF TOWNSHIP ESSEX COUNTY, NEW JERSEY" PREPARED BY PROJECT SURVEYING, INC.



<b>DEMOLITION PLAN</b>	
<b>STARBUCKS</b>	
30 POMPTON AVENUE LOT 44 BLOCK 202	
TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY	
DRAWING NO. BRIGHT VIEW ENGINEERING, LLC AARON J. SCHRAGER, P.E. NJ LIC. NO. 46134 DATE 2/24/04/09	SHEET SP-3 OF 7 BRIGHT VIEW ENGINEERING, LLC 70 SOUTH ORANGE AVENUE, SUITE 100 LIVINGSTON, NJ 07039 BrightViewEngineering.com 732.258.0909 CERT. OF AUTH. No.: 246A28283000

REVISIONS	BY	DATE



- NOTES:**
- 1) UNDERGROUND UTILITIES SHOWN ON THE PLAN ARE PLOTTED USING FIELD DATA. UTILITY MARKINGS AND/OR RECORDS FURNISHED BY VARIOUS AGENCIES. BRIGHT VIEW ENGINEERING, MAKES NO GUARANTEE, EXPRESS OR IMPLIED, REGARDING THE UTILITY LOCATIONS AS PLOTTED ON THIS PLAN. THIS PLAN DOES NOT IMPLY THAT NO OTHER UTILITIES MAY BE PRESENT ON THE SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY GROUND DISTURBANCE.
  - 2) ANY UNLINED SIDEWALK SECTIONS ALONG STREET FRONTS SHALL BE RESEED. ANY BROKEN SECTIONS OF SIDEWALK ALONG STREET FRONTS SHALL BE REPLACED. REMOVED SECTIONS SHALL BE DISPOSED OF.
  - 3) ALL ROOF LEADERS SHALL BE CONNECTED TO THE STORM SEWER SYSTEM.

**MAP REFERENCE:**

1) BOUNDARY AND TOPOGRAPHIC INFORMATION IS TAKEN FROM A CERTAIN MAP ENTITLED "A/C/A/SURVEY OF 100-100 BLOOMFIELD AVENUE, 12-30 POMPTON AVENUE, LOT 44 BLOCK 8 ON TAX MAPS OF TOWNSHIP OF ESSEX COUNTY, NEW JERSEY" PREPARED BY PRONESTI SURVEYING, INC.

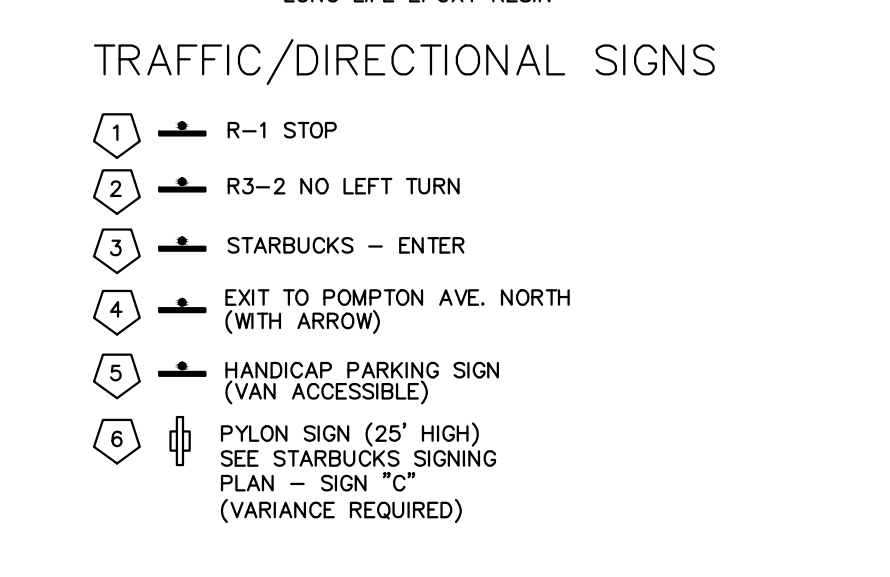
- DESIGN CRITERIA NOTES:**
- 1) GRADES SHALL NOT BE LESS THAN 1% AND NO GREATER THAN 2% IN ADA PARKING SPACES IN ALL DIRECTIONS.
  - 2) EXTERIOR CONCRETE IN FREEZE/THAW CLIMATES SHALL HAVE AIR ENTRAINMENT. (SEE SPECIFICATIONS FOR RECOMMENDATIONS).
  - 3) EXTERIOR CONCRETE SHALL RECEIVE BROOM FINISH FOR SLIP RESISTANCE.
  - 4) 4" MAXIMUM CURB HEIGHT AT PEDESTRIAN WALK.
  - 5) PROVIDE SAFE BARRIER TO PEDESTRIANS AND VEHICLES AT ALL GRADE CHANGES, INCLUDING RETAINING WALLS.
  - 6) ALL BOLLARDS AND CONCRETE BASES FOR SITE LIGHTING SHALL BE SMOOTH AND FREE OF HOODS AND LIMBS. BOLLARDS ARE TO BE PAINTED YELLOW. SITE LIGHTING BASES TO BE PAINTED YELLOW WHEN POLES ARE LOCATED IN THE PAVEMENT AREA. CROWN TOP OF GRADE TO SHED WATER.
  - 7) ALL SELECT COMPACT FILL TO BE COMPACTED 50% (OPTIMUM) MOISTURE PROCTOR.
  - 8) BOLLARDS, GUARDRAILS, D.O.T. GUARDRAILS, HANDRAILS, RETAINING WALLS, TRAFFIC CONTROL SIGNS, CURBING AND PAVEMENT FINISHING ARE SPECIFIED THROUGHOUT THIS DEVELOPMENT AND SHALL BE MAINTAINED FOR SAFE ACCESSIBILITY WITHIN THE SITE. TRAFFIC CONTROL SIGNS TO BE ON METAL STANDARDS SET ON CONCRETE BASES. (SEE DETAIL SHEETS).
  - 9) ON-SITE DEVELOPMENT AND AREAS ADJACENT TO PROPERTY SUCH AS SIDEWALKS, PARKWAYS, STREET CURBS, AND DRIVE APRONS ARE EXPECTED TO BE NEW CONSTRUCTION OR REPAIRED TO "NEW" CONDITION. GRADED AREAS ARE TO BE LANDSCAPED AND IRRIGATED. ALL SIDEWALKS TO BE CONCRETE UNLESS OTHERWISE APPROVED.

- DESIGN NOTES:**
- 1) PROPOSED CURBING SHOWN ON THIS DESIGN IS TO BE CONSTRUCTED OF GRANITE BLOCK (SEE DETAILS).
  - 2) CURBING ALONG COUNTY ROADWAYS IS TO BE CONSTRUCTED OF CONCRETE (SEE DETAILS).
  - 3) ALL CONCRETE WALKS AND APRONS WITHIN THE COUNTY R.O.W. SHALL CONFORM TO THE ESSEX COUNTY DESIGN STANDARDS (SEE DETAILS).
  - 4) FOR BUILDING ADDITION PLANS AND ELEVATION REFER TO ARCHITECTURALS.
  - 5) TBR - TO BE REMOVED (IF ANY).
  - 6) ALL SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH M.U.T.C.D. REQUIREMENTS.
  - 7) LOCATE AND REMOVE/SEAL EXISTING WELLS AND SEPTIC SYSTEM(S) (IF ANY) IN ACCORDANCE WITH PLUMP/REWER/CHEN.
  - 8) APPROVALS ARE REQUIRED FROM THE FOLLOWING:
    - TOWNSHIP OF VERONA ZONING BOARD - SITE PLAN
    - TOWNSHIP OF VERONA WATER DEPARTMENT - WATER SERVICE
    - TOWNSHIP OF VERONA - SANITARY SEWER SERVICE
    - TOWNSHIP OF VERONA FIRE PREVENTION - FIRE PROTECTION
    - ESSEX-PASSAIC COUNTY SOIL CONSERVATION DISTRICT - SOIL EROSION PERMIT
    - TOWNSHIP OF VERONA GRASSLAND CONSTRUCTION OFFICIAL - ADA REQUIREMENTS
    - ESSEX COUNTY ENGINEERING
  - 9) ALL AREAS NOT RECEIVING PAVEMENT AND/OR CONCRETE SHALL BE SEEDED, FERTILIZED AND MULCHED.
  - 10) ALL STORM WATER DOWNSPOUTS SHALL BE PLACED UNDERGROUND AND CONNECTED TO THE STORM SEWER SYSTEM.
  - 11) PLANTING AND LANDSCAPING SHALL BE INSTALLED AND MAINTAINED ACCORDING TO THE APPROVED PLANS AND AT NO TIME SHALL THE HEIGHT OF ANY SUCH PLANTINGS BE SUCH THAT IT WILL HINDER A DRIVER'S SIGHT DISTANCE AT THE INTERSECTION.
  - 12) EXCEPT FOR SECURITY LIGHTING, ALL OTHER EXTERIOR LIGHTING SHALL BE TURNED OFF AFTER 11 PM. ANY LIGHTING IN THE PARKING LOT THAT REMAINS ON AFTER 8 PM SHALL BE BACK SHIELDED TO PREVENT SPILLAGE ONTO ADJACENT PROPERTIES.

TSE APPROVED LOCATION FOR TRAFFIC SIGNAL EQUIPMENT (BY OTHERS)

- PAVEMENT MARKINGS**
- ← PAINT/DEMARCATE TRAFFIC ARROWS
  - LONG LIFE EPOXY RESIN

- TRAFFIC/DIRECTIONAL SIGNS**
- 1) R-1 STOP
  - 2) R3-2 NO LEFT TURN
  - 3) STARBUCKS - ENTER
  - 4) EXIT TO POMPTON AVE. NORTH (WITH ARROW)
  - 5) HANDICAP PARKING SIGN (VAN ACCESSIBLE)
  - 6) PYLON SIGN (25' HIGH) (SEE STARBUCKS SIGNING PLAN - SIGN "C" (VARIANCE REQUIRED))



**PYLON SIGN LOCATION**  
N.T.S.

**GRAPHIC SCALE**  
(IN FEET)  
1 inch = 20 ft.

**SITE PLAN**  
**STARBUCKS**  
30 POMPTON AVENUE  
LOT 44 BLOCK 202  
TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY

DESIGNED BY	DATE	CHECKED BY	DATE
PLANNED BY	DATE	APPROVED BY	DATE
DRAWN BY	DATE	SCALE	DATE

**DRAWING NO.** BRIGHT VIEW ENGINEERING, LLC  
70 SOUTH ORANGE AVENUE, SUITE 100  
LIVINGSTON, NJ 07039  
BrightViewEngineering.com  
T: 973.228.0999

**SHEET SP-4 OF 7**  
AARON J. SCHERAGER, P.E.  
NJ LIC. NO. 46134 DATE 2024/04/09

REVISIONS	BY	DATE



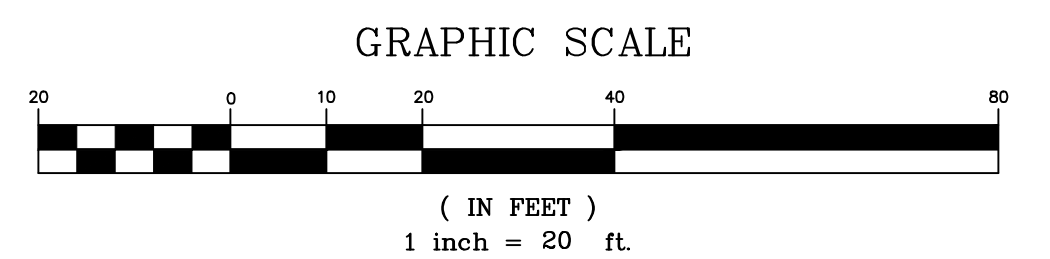
- NOTES:**
- UNDERGROUND UTILITIES SHOWN ON THE PLAN ARE PLOTTED USING FIELD DATA. UTILITY MARKINGS AND/OR RECORDS FURNISHED BY VARIOUS AGENCIES. BRIGHT VIEW ENGINEERING MAKES NO GUARANTEE, EXPRESS OR IMPLIED, REGARDING THE UTILITY LOCATIONS AS PLOTTED ON THIS PLAN. THIS PLAN DOES NOT IMPLY THAT NO OTHER UTILITIES MAY BE PRESENT ON THE SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY GROUND DISTURBANCE.
  - ANY UNLINED SIDEWALK SECTIONS ALONG STREET FRONTS SHALL BE RESEED. ANY BROKEN SECTIONS OF SIDEWALK ALONG STREET FRONTS SHALL BE REPLACED. REMOVED SECTIONS SHALL BE DISPOSED OF.
  - ALL ROOF LEADERS SHALL BE CONNECTED TO THE STORM SEWER SYSTEM.

**MAP REFERENCE:**

- BOUNDARY AND TOPOGRAPHIC INFORMATION IS TAKEN FROM A CERTAIN MAP ENTITLED "ALTA/ACSM SURVEY OF 100-120 BLOOMFIELD AVENUE 15-20 POMPTON AVENUE LOT 44 BLOCK 202 ON TAX MAPS OF TOWNSHIP ESSEX COUNTY, NEW JERSEY" PREPARED BY PRONEST SURVEYING, INC.

- DESIGN CRITERIA NOTES:**
- GRADES SHALL NOT BE LESS THAN 1% AND NO GREATER THAN 2% IN ADA PARKING SPACES IN ALL DIRECTIONS.
  - EXTERIOR CONCRETE IN FREEZE/THAW CLIMATES SHALL HAVE AIR ENTRAINMENT. (SEE SPECIFICATIONS FOR RECOMMENDATIONS).
  - EXTERIOR CONCRETE SHALL RECEIVE BROOK FINISH FOR SLIP RESISTANCE.
  - 4" MAXIMUM CURB HEIGHT AT PEDESTRIAN WALK.
  - PROVIDE SAFE BARRIER TO PEDESTRIANS AND VEHICLES AT ALL GRADE CHANGES, INCLUDING RETAINING WALLS.
  - ALL BOLLARDS AND CONCRETE BASES FOR SITE LIGHTING SHALL BE SMOOTH AND FREE OF HOODS AND LUMPS. BOLLARDS ARE TO BE PAINTED YELLOW. SITE LIGHTING BASES TO BE PAINTED YELLOW WHEN POLES ARE LOCATED IN THE PAVEMENT AREA. DOWN TOP OF GRADE TO SLOD WATER.
  - ALL SELECT COMPACT FILL TO BE COMPACTED 50% (OPTIMUM) MODIFIED PROCTOR.
  - BOLLARDS, GUARDRAILS, D.O.T. GUARDRAILS, HANDRAILS, RETAINING WALLS, TRAFFIC CONTROL SIGNS, CURBS AND PAVEMENT FINISHES SPECIFIED TO BE INSTALLED WITHIN THE DEVELOPMENT. AS REQUIRED, FOR SAFE ACCESSIBILITY WITHIN THE SITE, TRAFFIC CONTROL SIGNS TO BE ON METAL STANDARDS SET IN CONCRETE BASES. (SEE DETAIL SHEETS)
  - ON-SITE DEVELOPMENT AND AREAS ADJACENT TO PROPERTY SUCH AS SIDEWALKS, PARKWAYS, STREET CURBS, AND DRIVE APRONS ARE EXPECTED TO BE NEW CONSTRUCTION OR REPAIRED TO "AS BUILT" CONDITION. GRADED AREAS ARE TO BE LANDSCAPED AND IRRIGATED. ALL SIDEWALKS TO BE CONCRETE UNLESS OTHERWISE APPROVED.

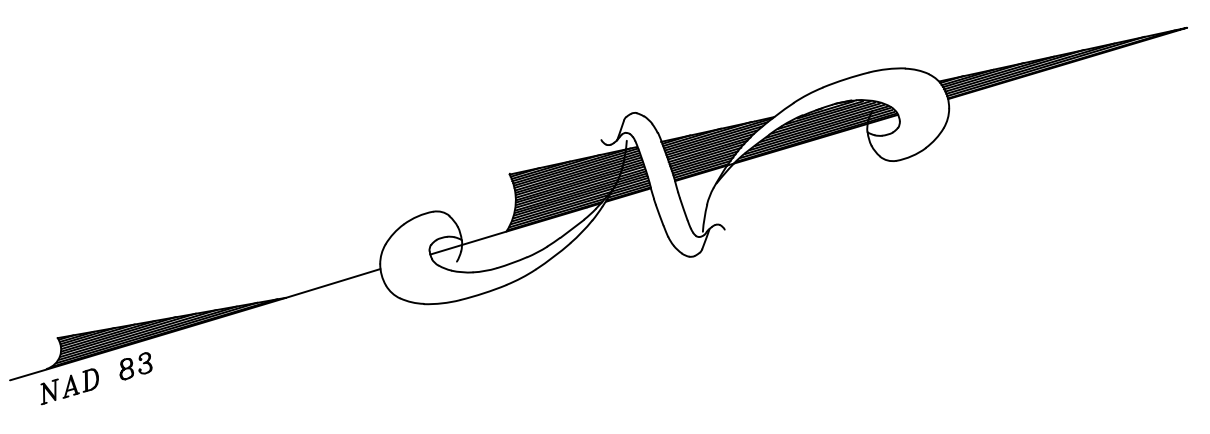
- DESIGN NOTES:**
- PROPOSED CURBS SHOWN ON THIS DESIGN IS TO BE CONSTRUCTED OF GRANITE BLOCK (SEE DETAILS).
  - CONCRETE WALKS AND APRONS WITHIN THE COUNTY R.O.W. SHALL CONFORM TO THE ESSEX COUNTY DESIGN STANDARDS (SEE DETAILS).
  - FOR BUILDING ADDITION PLANS AND ELEVATION REFER TO ARCHITECTURALS.
  - BM = TO BE REMOVED (IF ANY).
  - ALL SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH M.U.T.C.D. REQUIREMENTS.
  - LOCATE AND REMOVE/SEAL EXISTING WELLS AND SEPTIC SYSTEMS (IF ANY) IN ACCORDANCE WITH NJDEP REQUIREMENTS.
  - APPROVALS ARE REQUIRED FROM THE FOLLOWING:
    - TOWNSHIP OF VERONA ZONING BOARD - SITE PLAN
    - TOWNSHIP OF VERONA WATER DEPARTMENT - WATER SERVICE
    - TOWNSHIP OF VERONA - SANITARY SEWER SERVICE
    - TOWNSHIP OF VERONA FIRE PREVENTION - FIRE PROTECTION
    - ESSEX-PASSAIC COUNTY SOIL CONSERVATION DISTRICT - SOIL EROSION PERMIT
    - TOWNSHIP OF VERONA ORANGE CONSTRUCTION OFFICIAL - ADA REQUIREMENTS
    - ESSEX COUNTY ENGINEERING
  - ALL AREAS NOT RECEIVING PAVEMENT AND OR CONCRETE SHALL BE SEEDED, FERTILIZED AND MULCHED.
  - ALL STORM WATER DOWNSPOUTS SHALL BE PLACED UNDERGROUND AND CONNECTED TO THE STORM SEWER SYSTEM.
  - PLANTING AND LANDSCAPING SHALL BE INSTALLED AND MAINTAINED ACCORDING TO THE APPROVED PLANS AND AT NO TIME SHALL THE HEIGHT OF ANY SUCH PLANTING BE SUCH THAT IT WILL HINDER A DRIVERS SIGHT DISTANCE AT THE INTERSECTION.
  - EXCEPT FOR SECURITY LIGHTING, ALL OTHER EXTERIOR LIGHTING SHALL BE TURNED OFF AFTER 11 PM. ANY LIGHTING IN THE PARKING LOT THAT REMAINS ON AFTER 9 PM, SHALL BE BACK SHIELDED TO PREVENT SPILLAGE ONTO ADJACENT PROPERTIES.



**GRADING & DRAINAGE PLAN**  
**STARBUCKS**  
 30 POMPTON AVENUE  
 LOT 44 BLOCK 202  
 TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY

<p><b>Bright View Engineering</b>        Moving you forward</p> <p><b>DRAWING NO.</b>        BRIGHT VIEW ENGINEERING, LLC        70 SOUTH ORANGE AVENUE, SUITE 109        LIVINGSTON, NJ 07039        T: 973.228.0909</p>	<p><b>SHEET SP-5 OF 7</b></p> <p><b>BRIGHT VIEW ENGINEERING, LLC</b>        AARON J. SCHRAGER, P.E.        NJ LIC. NO. 46134 DATE 2024/04/09</p>
---	--

REVISIONS	BY	DATE



**NEW LIGHT FIXTURES**

STARBUCKS	TYP	SYMBOL	DESCRIPTION	LAMP	WATTS	LUMENS	MOUNTING/BALLAST	LLF	QTY	HF
H	⊕		LITHONIA 3A-DSX-LED-20C-700/40K-TFM-HS-VOLTS-COLOR-RPA-A3	(D) NICHIA 2198	45	4338	1350-4545454-IA-COLOR-A3 ON 2.5" CONCRETE PIER	0.85	2	16'
J	⊕		LITHONIA 3A-DSX-LED-20C-700/40K-T3M-HS-VOLTS-COLOR-RPA-A3	(D) NICHIA 2198	45	4338	1350-4545454-IA-COLOR-A3 ON 2.5" CONCRETE PIER	0.85	1	16'
W18	⊕		LITHONIA DSXW2-LED-30C-700/40K-T2M-VOLTS-COLOR-A3	(D) NICHIA 2198 4000K	71	2390	WALL MOUNTED TO BUILDING AT 18' HFG	0.85	6	16'

**LIGHTING NOTE**

INFORMATION ON THE EXISTING LIGHTING LOCATED ON THE BUILDING AND ON THE SITE ITSELF WAS COLLECTED BY THE OWNERS SITE MANAGER AND PROVIDED TO BRIGHT VIEW ENGINEERING. THE EXISTING MOUNTING HEIGHTS REMAIN UNCHANGED. THE FIXTURES WERE UPGRADED TO MORE EFFICIENT LED STYLE FIXTURES. THE ISOLUXES SHOWN ARE REPRESENTATIVE OF THE NEW FIXTURES.

THERE IS A SMALL AREA IN THE PARKING AREA WHICH IS NOT COVERED BY AT LEAST 0.5 FC. ON-SITE LIGHT METER READING WERE TAKEN BY THIS OFFICE. MOST OF THE PROPERTY THAT FRONTS ALONG POMPTON AVENUE IS RECEIVING LIGHT SPILLAGE FROM THE STREET LIGHTS OWNED AND MAINTAINED BY EITHER THE NJDOT OR THE COUNTY OF ESSEX.

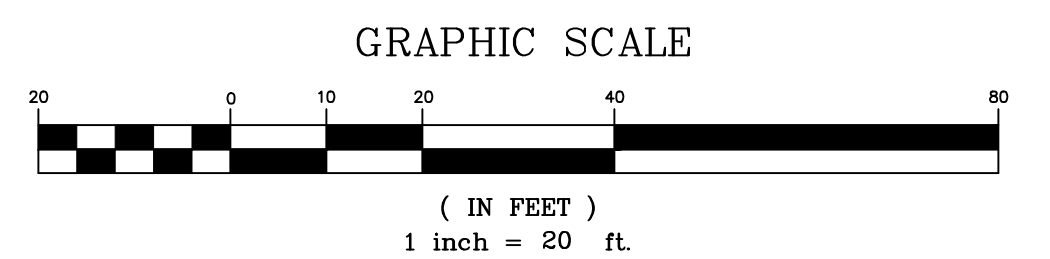


(D.O.T. R.O.W. TO PC)  
 RAD = 83.39'  
 ARC = 28.78'  
 C. B. = N 74-10-21 W (DEED)  
 C. D. = 28.64'

RAD = 298.50'  
 ARC = 40.83'  
 C. B. = S 53-08-30 W  
 C. D. = 40.80'

RAD = 153.50'  
 ARC = 64.88'  
 C. B. = S 37-06-49 W  
 C. D. = 64.40'

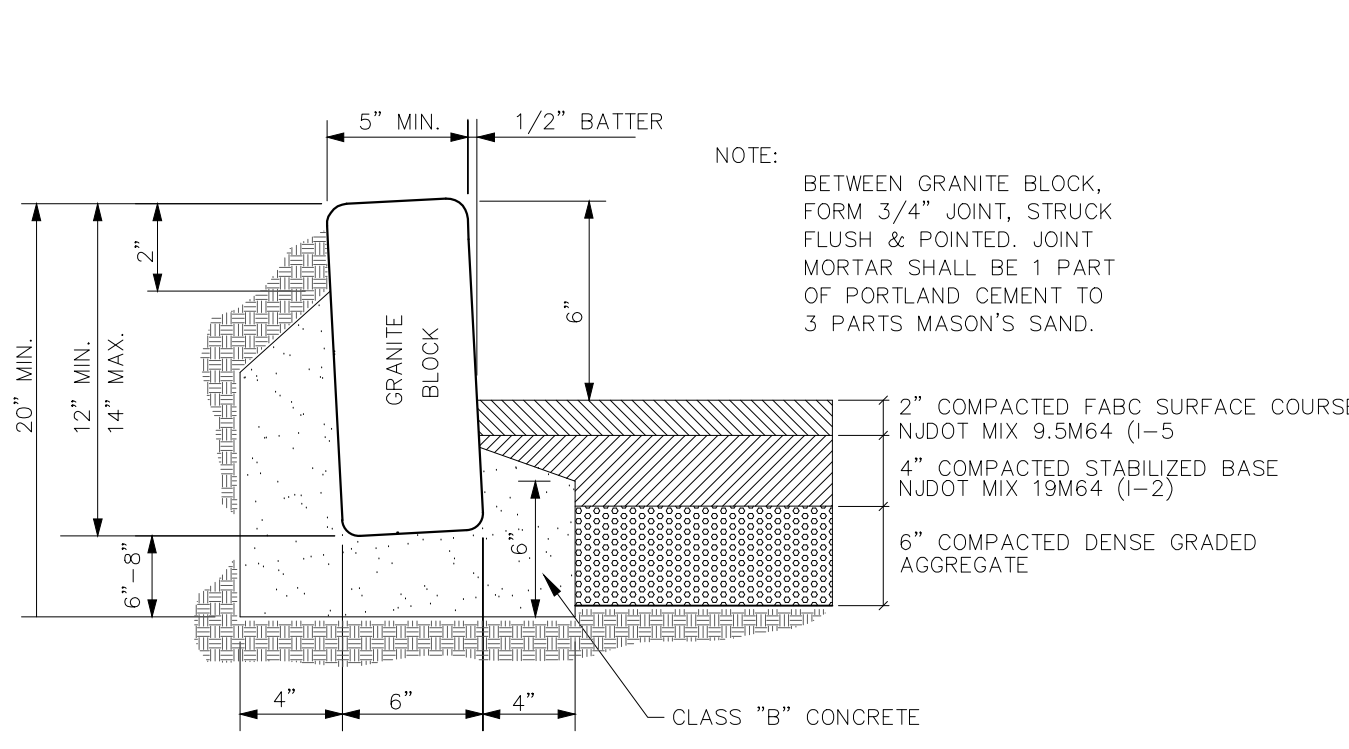
RAD = 83.39'  
 ARC = 132.03'  
 C. B. = S 70-21-28 W  
 C. D. = 118.67'



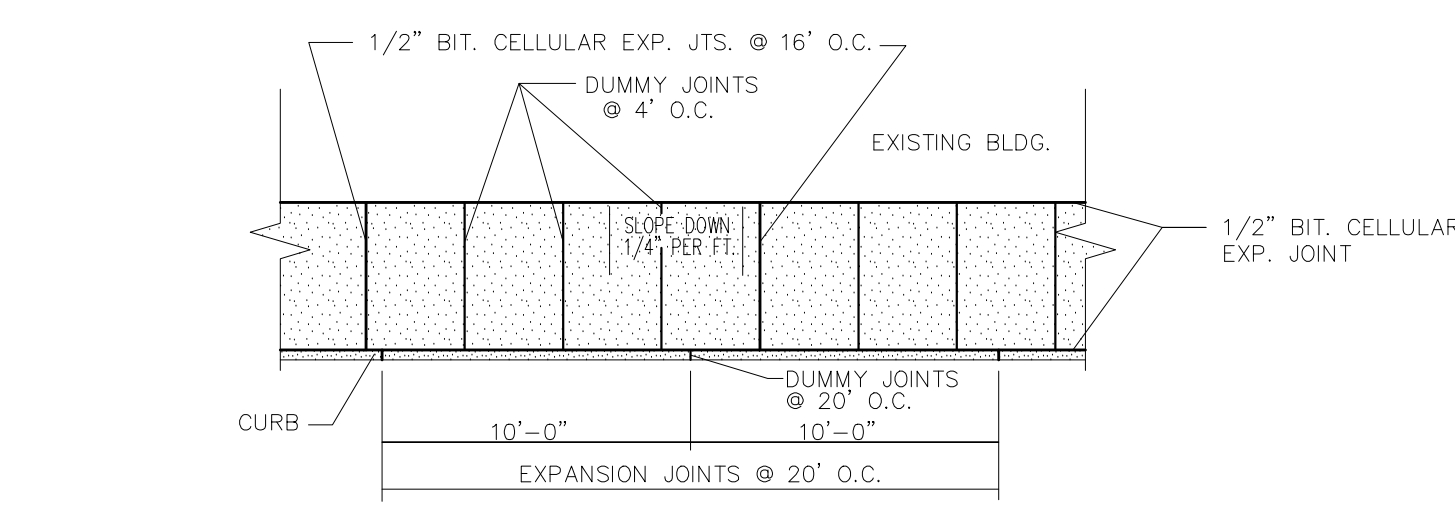
**LIGHTING PLAN**  
**STARBUCKS**  
 30 POMPTON AVENUE  
 LOT 44 BLOCK 202  
 TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY

DESIGNED BY	DATE	BY	DATE
CHECKED BY	DATE	BY	DATE
IN CHARGE	DATE	BY	DATE
DRAWING NO.		SHEET SP-6 OF 7	
BRIGHT VIEW ENGINEERING, LLC		BRIGHT VIEW ENGINEERING, LLC	
70 SOUTH GRANGER AVENUE, SUITE 100		LIVINGSTON, NJ 07039	
T. 973.258.0200		BrightViewEngineering.com	
AARON J. SCHRAGER, P.E.		CERT. OF AUTH. No.: 24GA28283000	
NJ LIC. NO. 46134 DATE 2024/04/09			

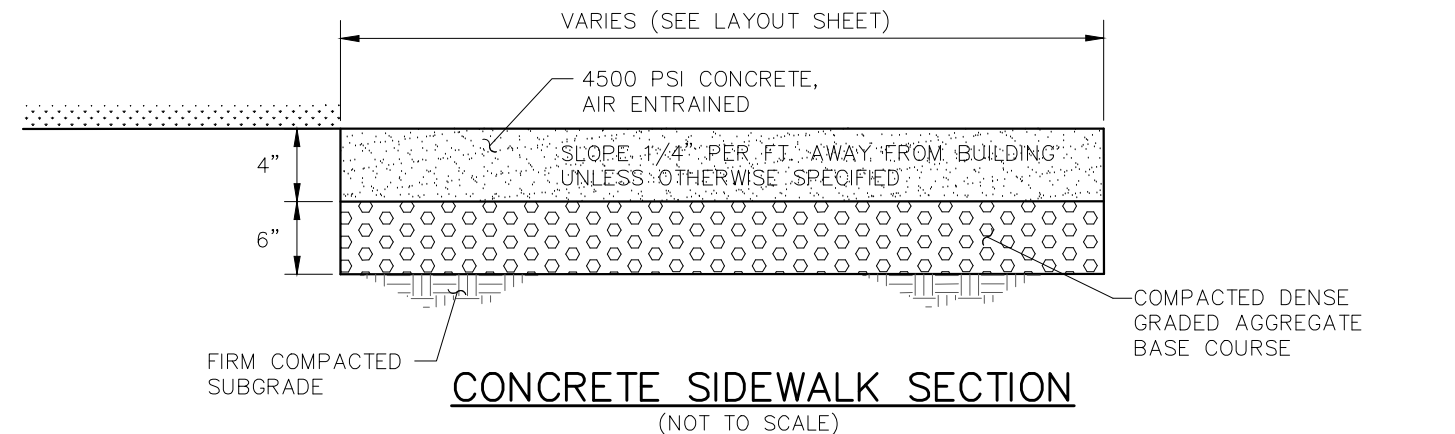
REVISIONS	BY	DATE



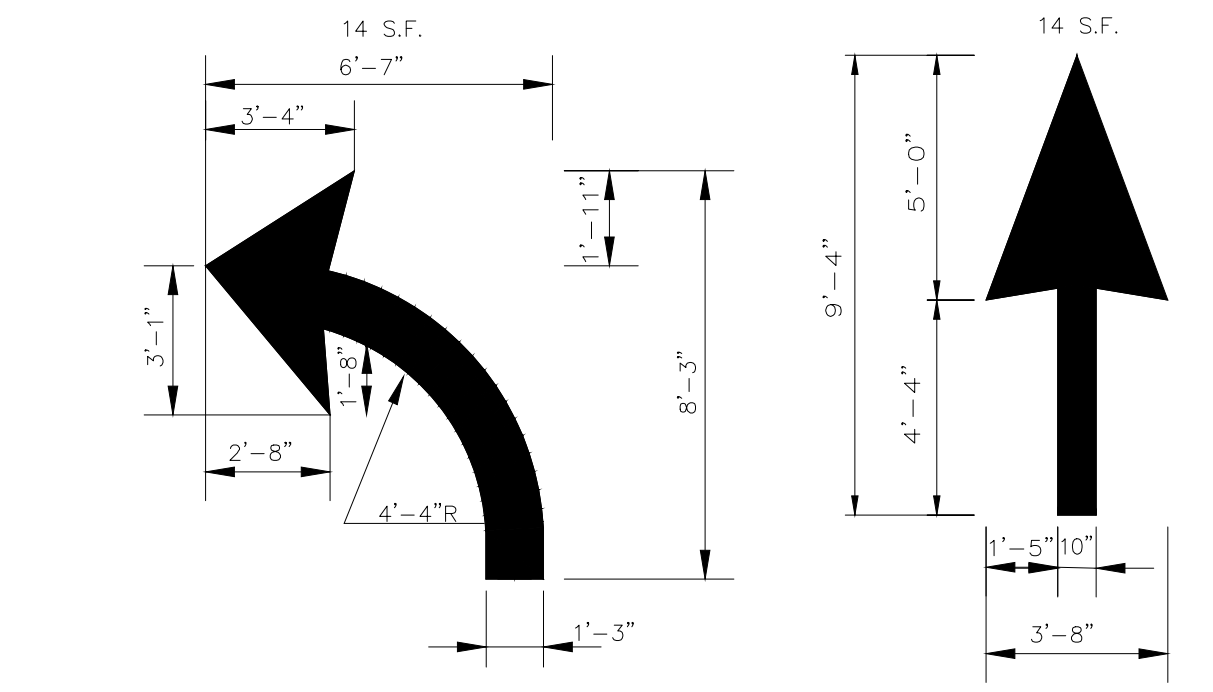
**GRANITE BLOCK CURB & FULL DEPTH PAVEMENT DETAIL**  
SCALE N.T.S.



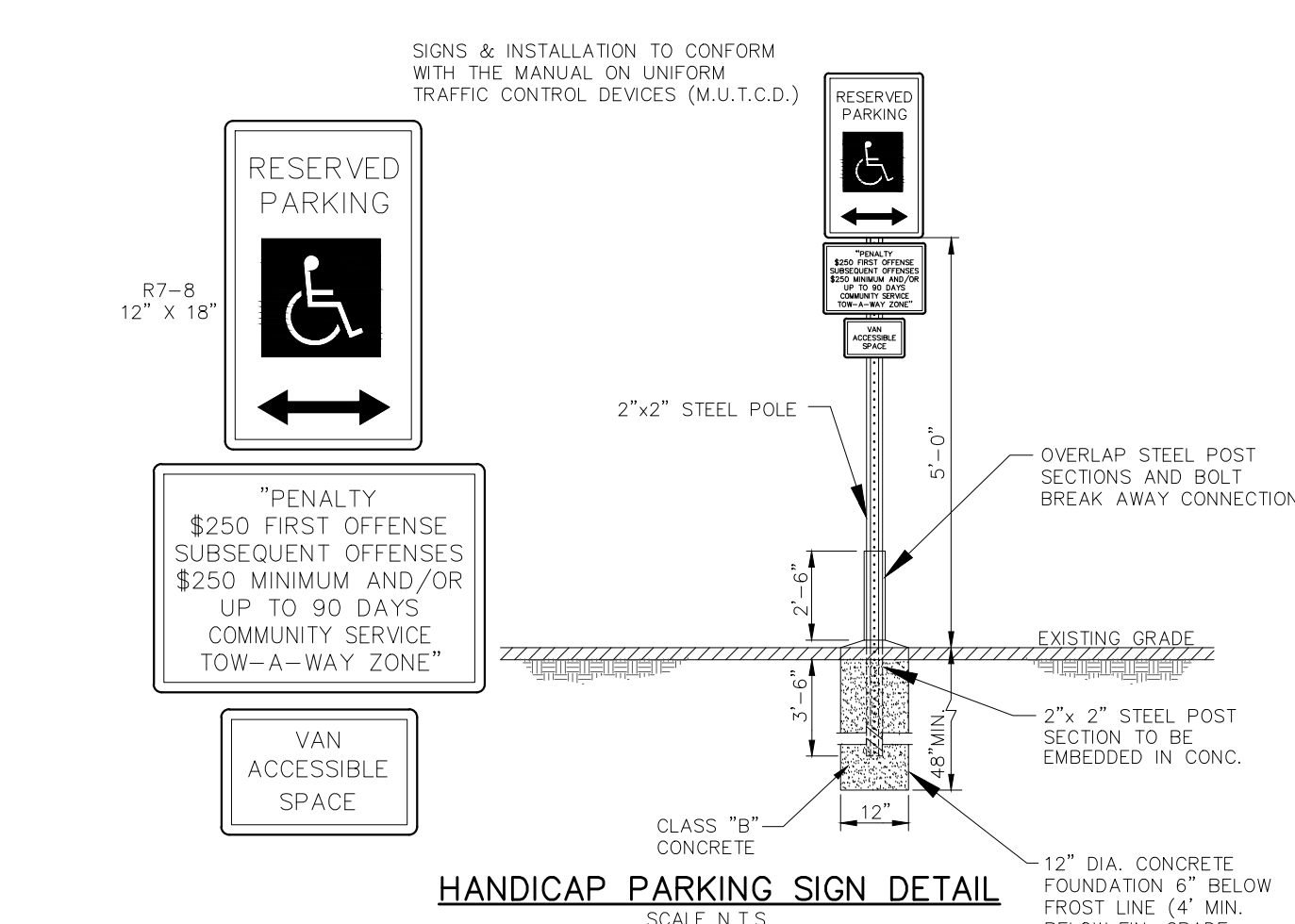
**CONCRETE SIDEWALK PLAN**  
SCALE N.T.S.



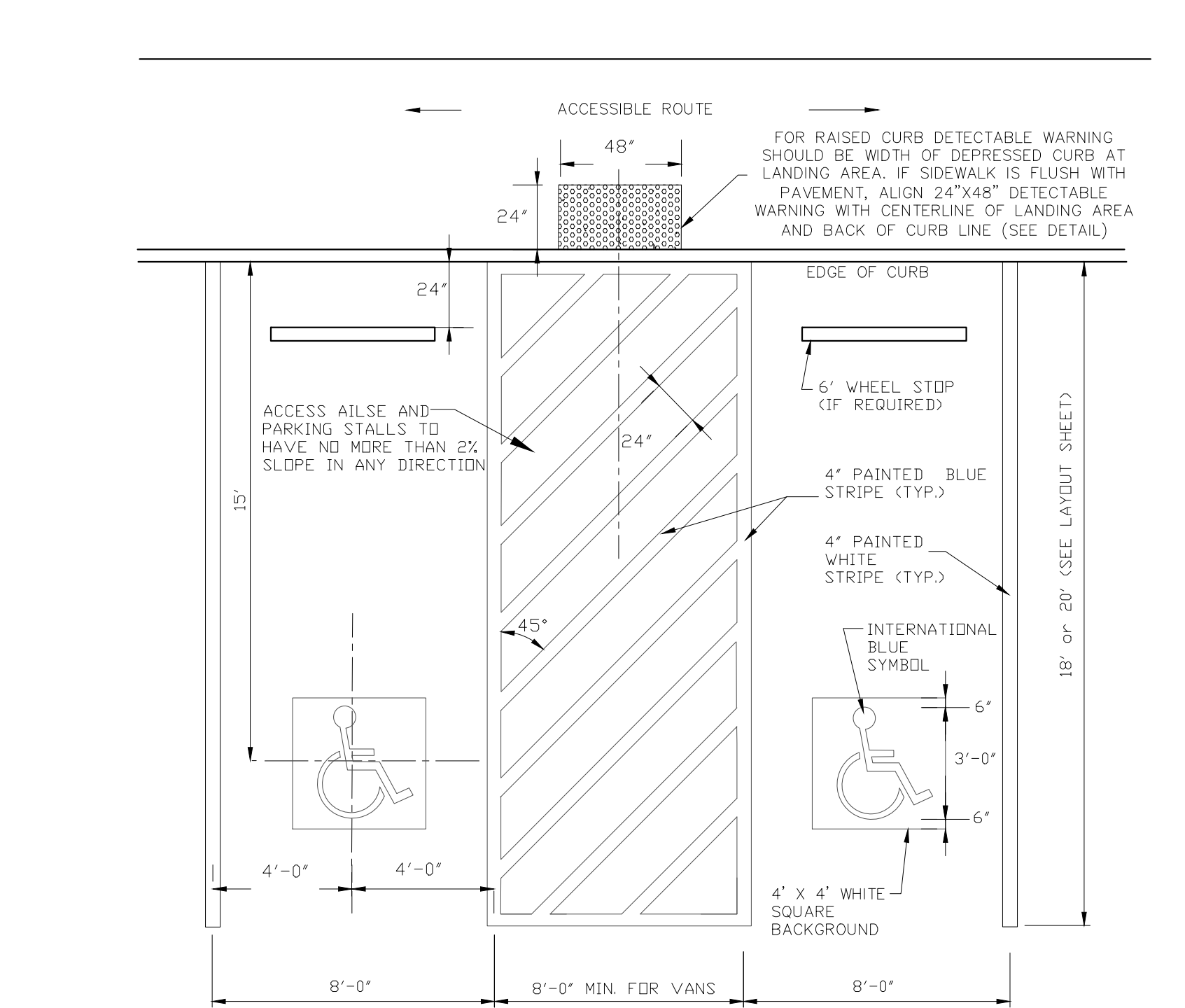
**CONCRETE SIDEWALK SECTION**  
(NOT TO SCALE)



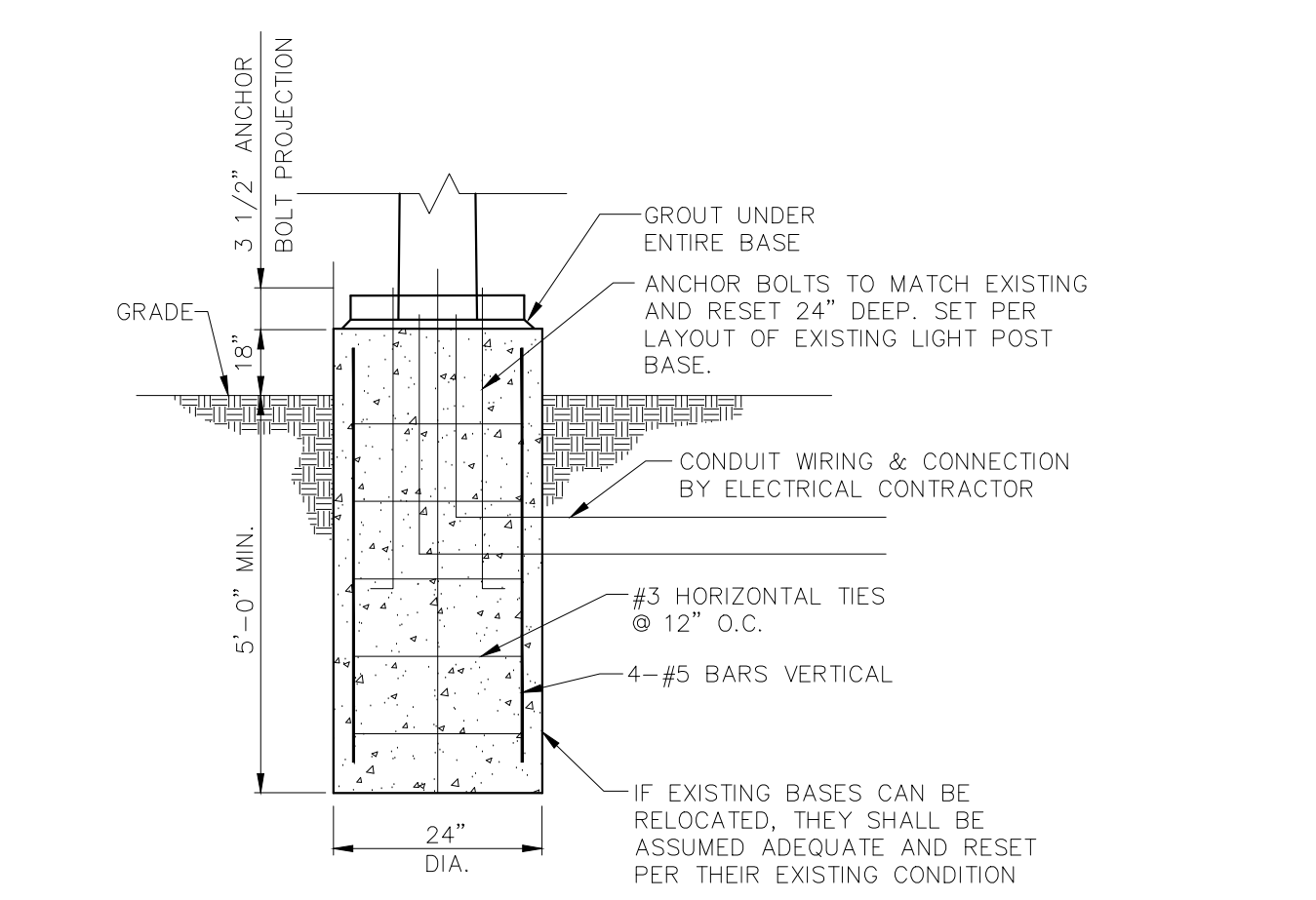
**TYPICAL PAVEMENT MARKINGS DETAIL**  
SCALE N.T.S.



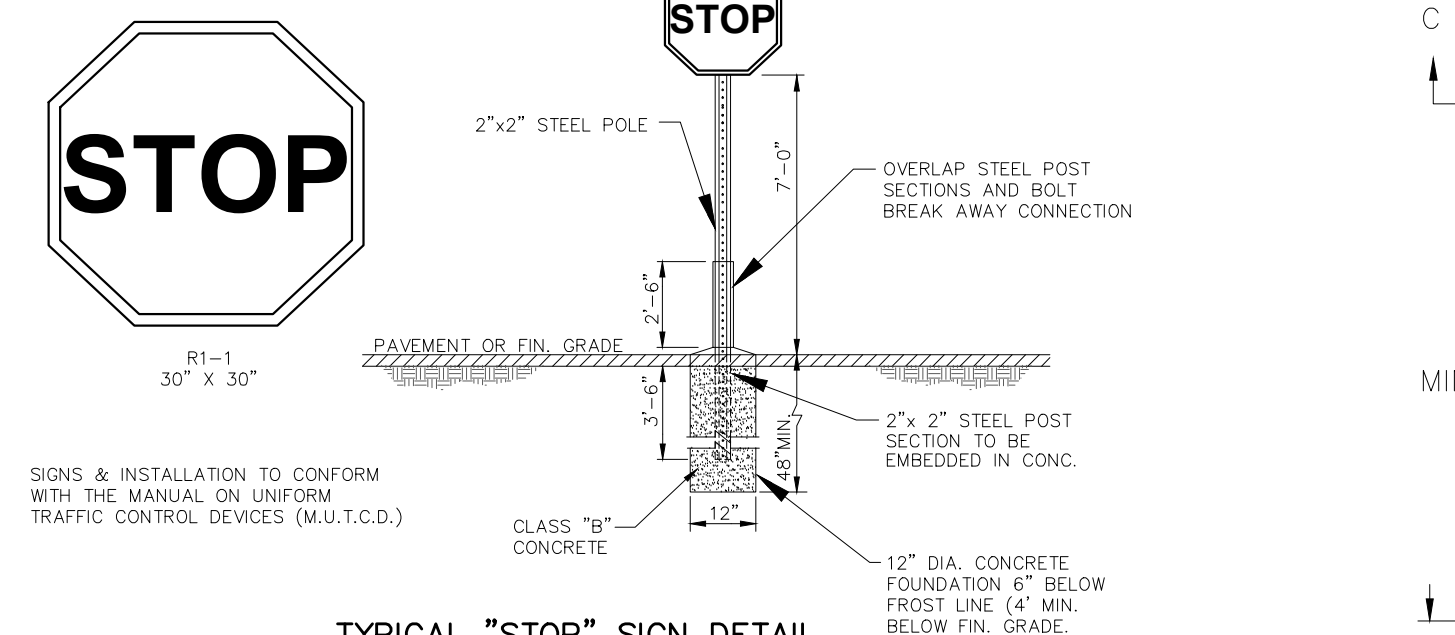
**HANDICAP PARKING SIGN DETAIL**  
SCALE N.T.S.



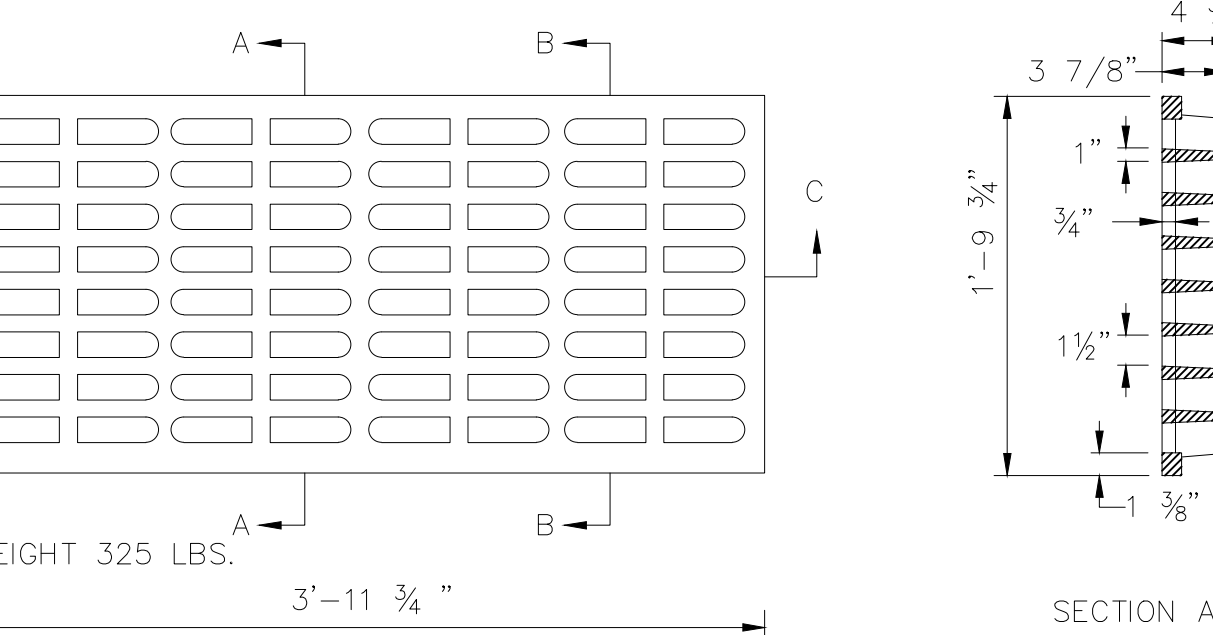
**TYPICAL HANDICAP PAVEMENT MARKINGS**  
SCALE N.T.S.



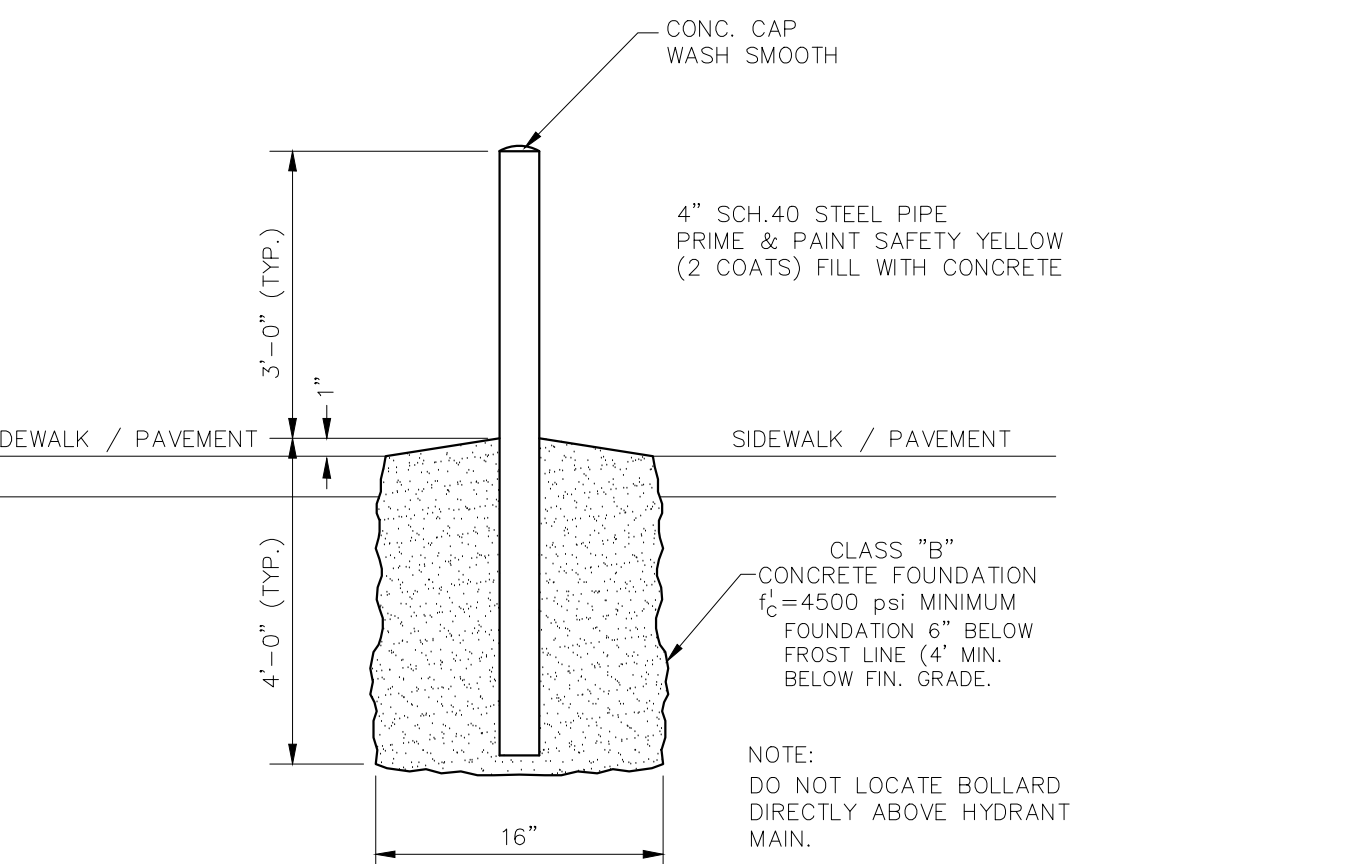
**LIGHTING BASE DETAIL**  
FOR 16 FOOT MOUNTING HEIGHT (IF/WHERE REQUIRED)  
SCALE N.T.S.



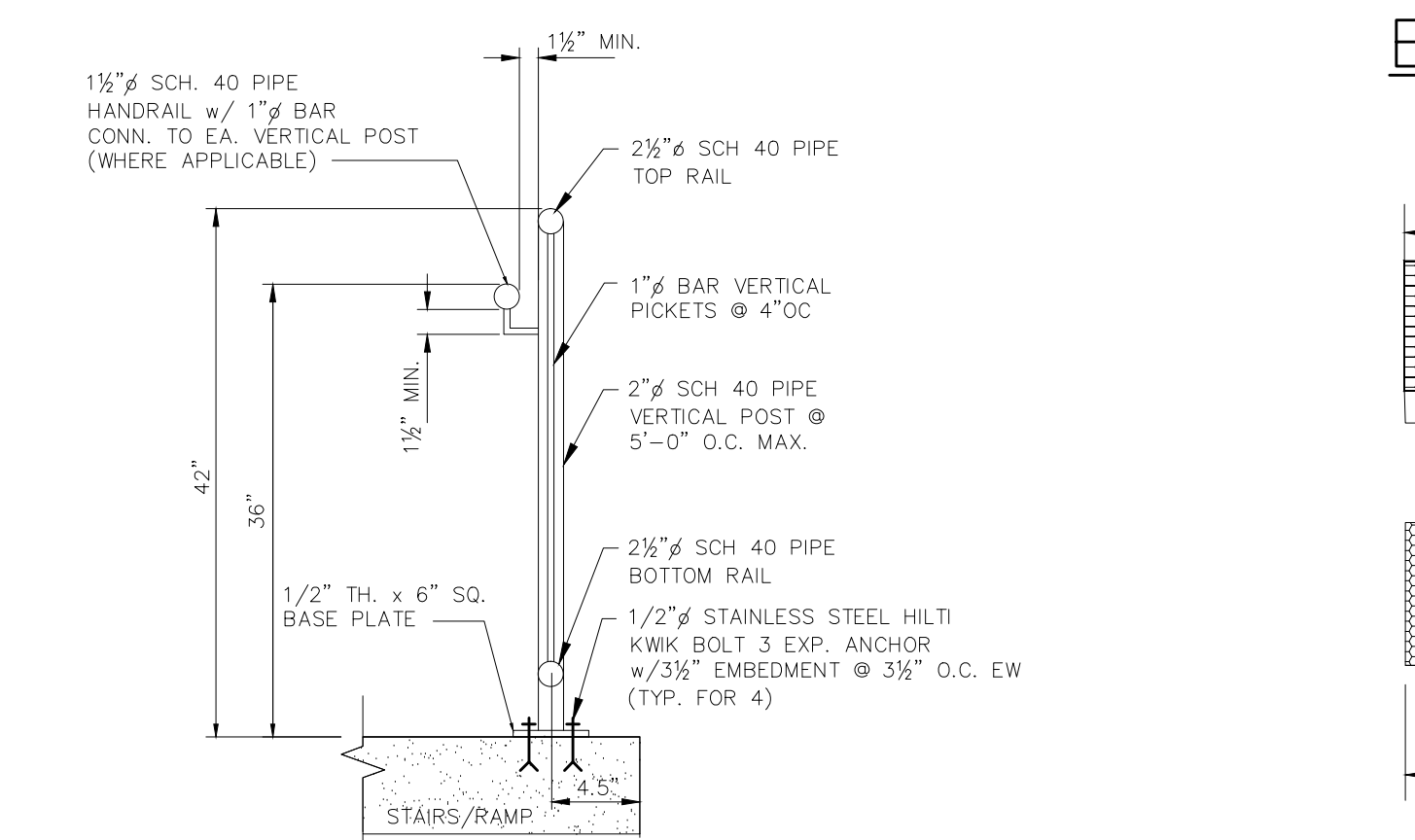
**TYPICAL STOP SIGN DETAIL**  
SCALE N.T.S.



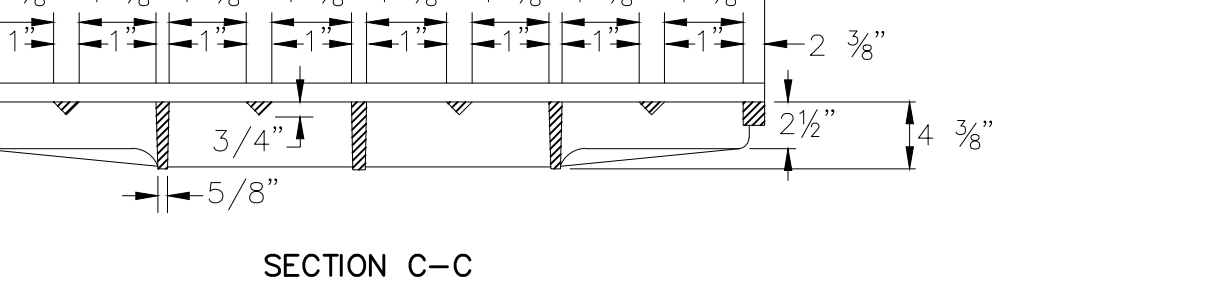
**BICYCLE SAFE GRATE DETAIL**  
SCALE N.T.S.



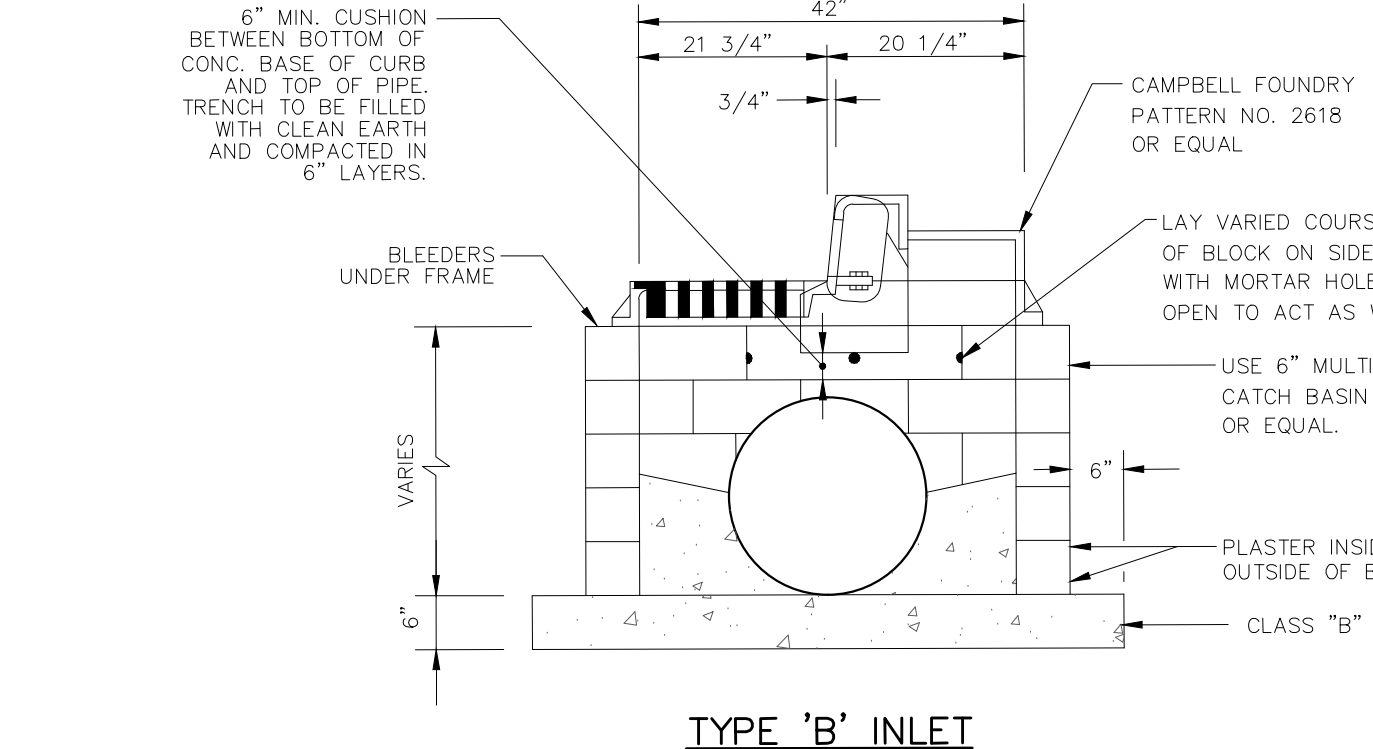
**PIPE BOLLARD DETAIL**  
(IF/WHERE REQUIRED)  
SCALE N.T.S.



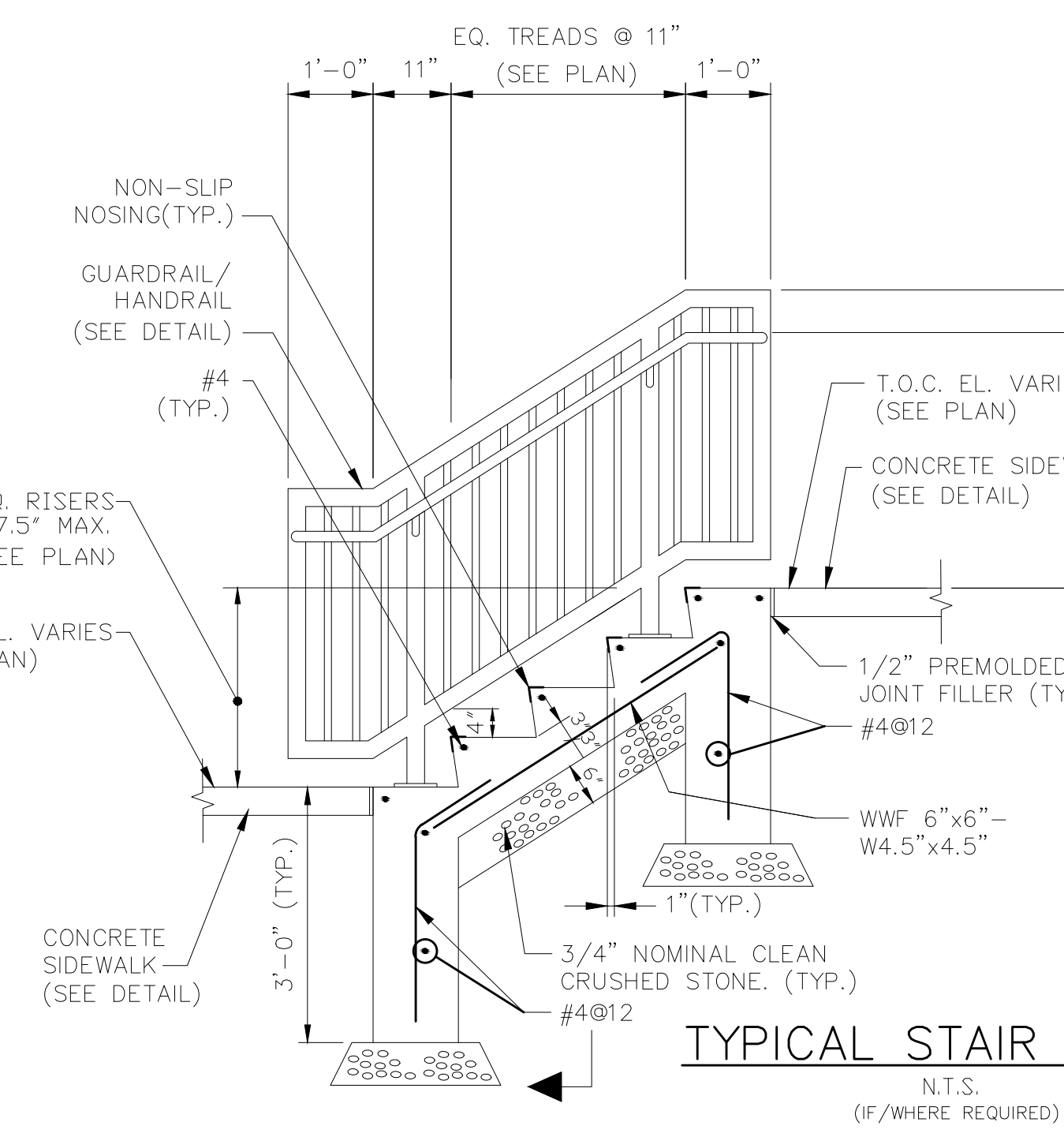
**TYPICAL GUARDRAIL/HANDRAIL DETAIL**  
SCALE N.T.S.



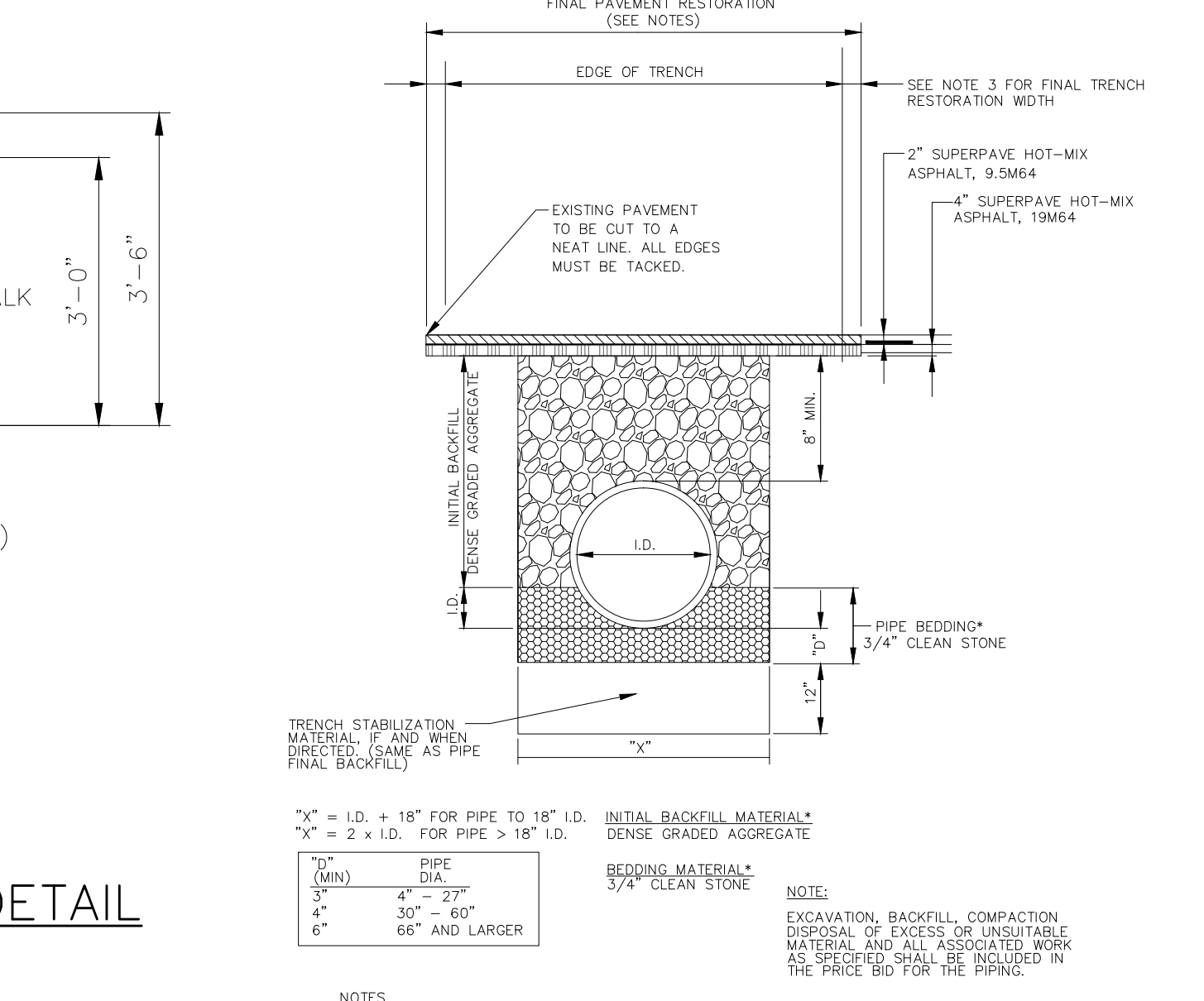
**TYPE 'P' ECO PHASE 2 CURB PIECE**  
FOR TYPE 'B' INLET



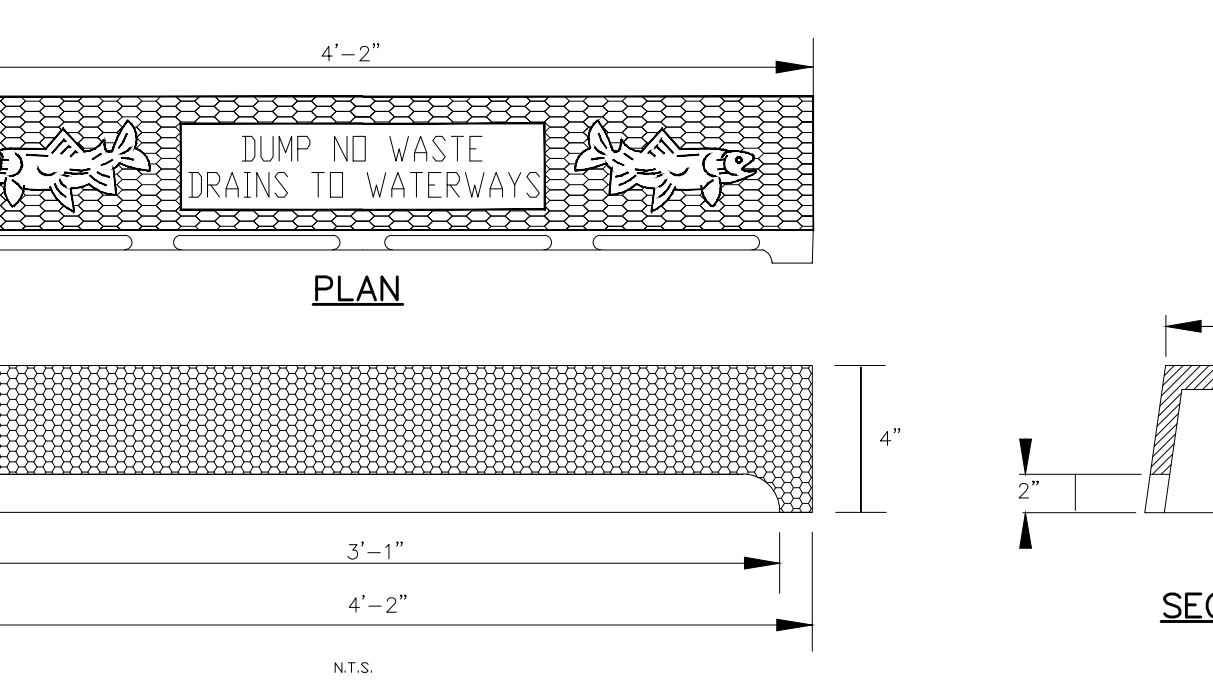
**TYPE 'B' INLET**  
SCALE N.T.S.



**TYPICAL STAIR DETAIL**  
(IF/WHERE REQUIRED)



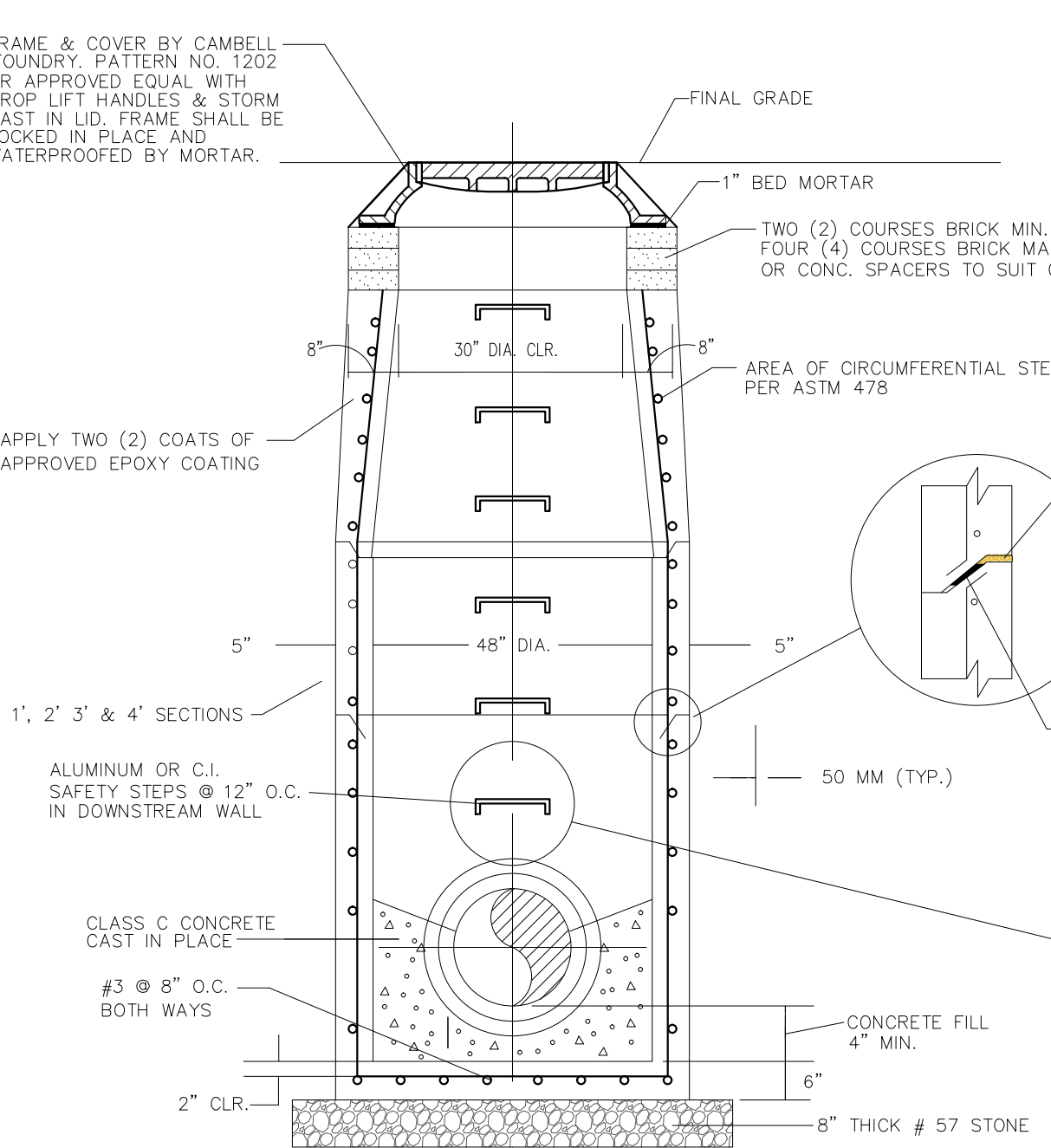
**TRENCH BACKFILLING-DRAINAGE PIPE INSTALLATION**  
SCALE N.T.S.



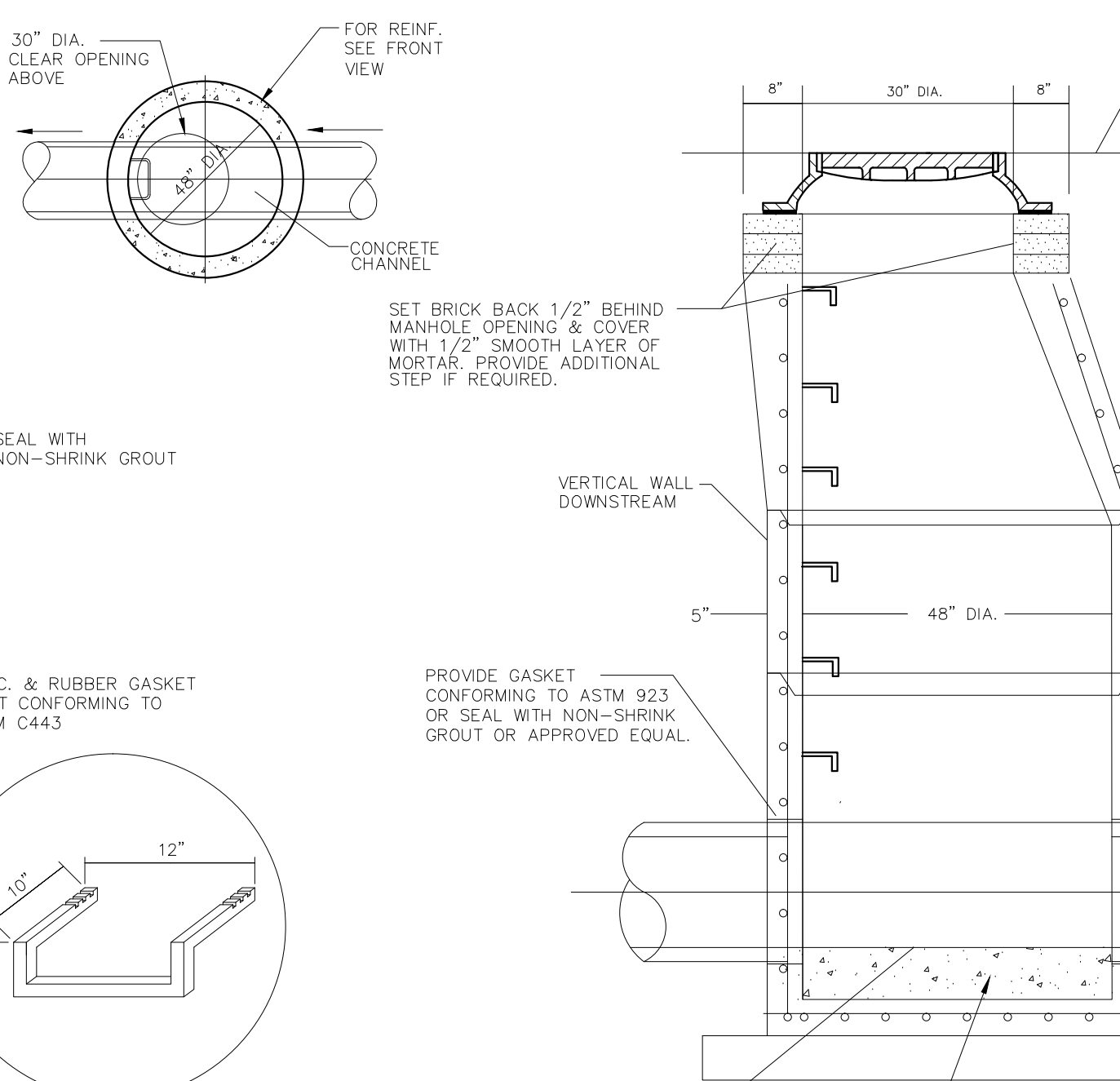
**TYPE 'P' ECO PHASE 2 CURB PIECE**  
FOR TYPE 'B' INLET



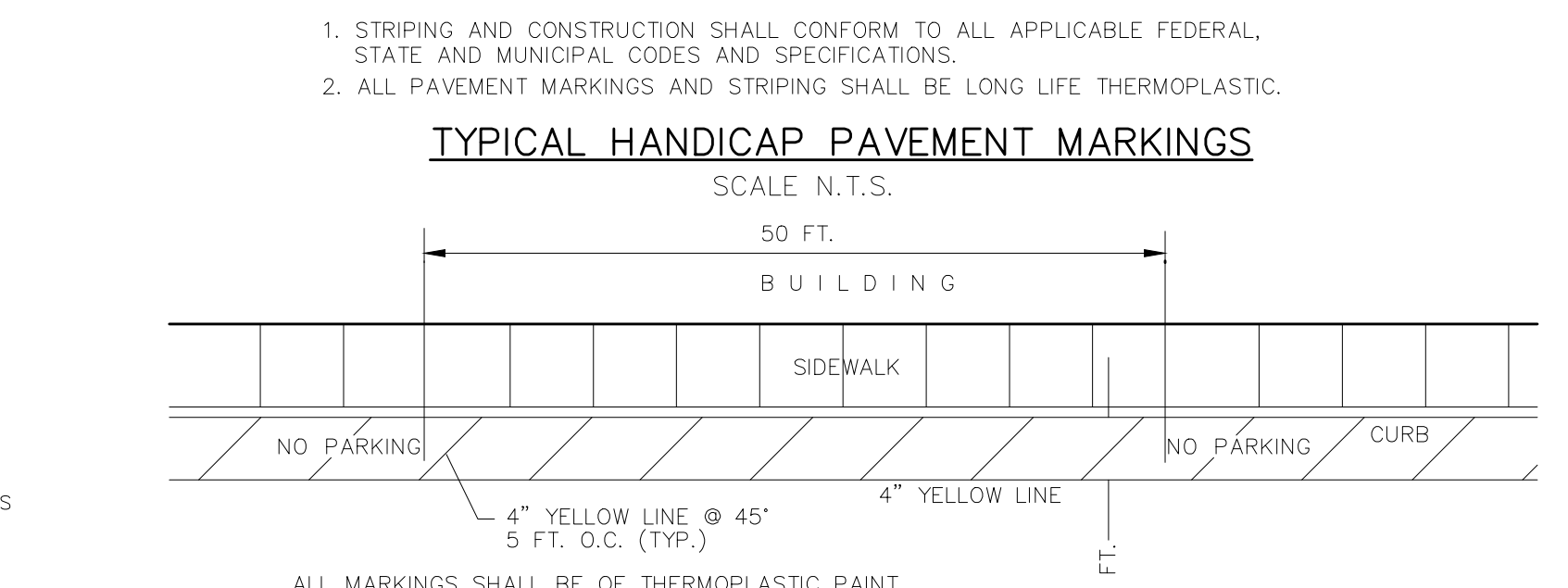
**TYPE 'B' INLET**  
SCALE N.T.S.



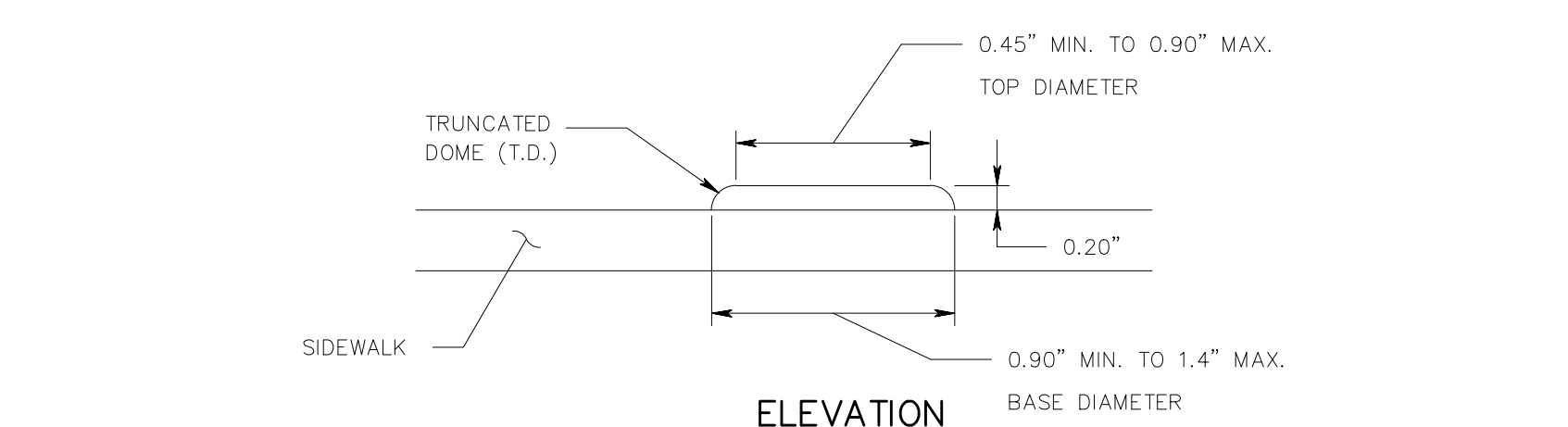
**48\"/>**



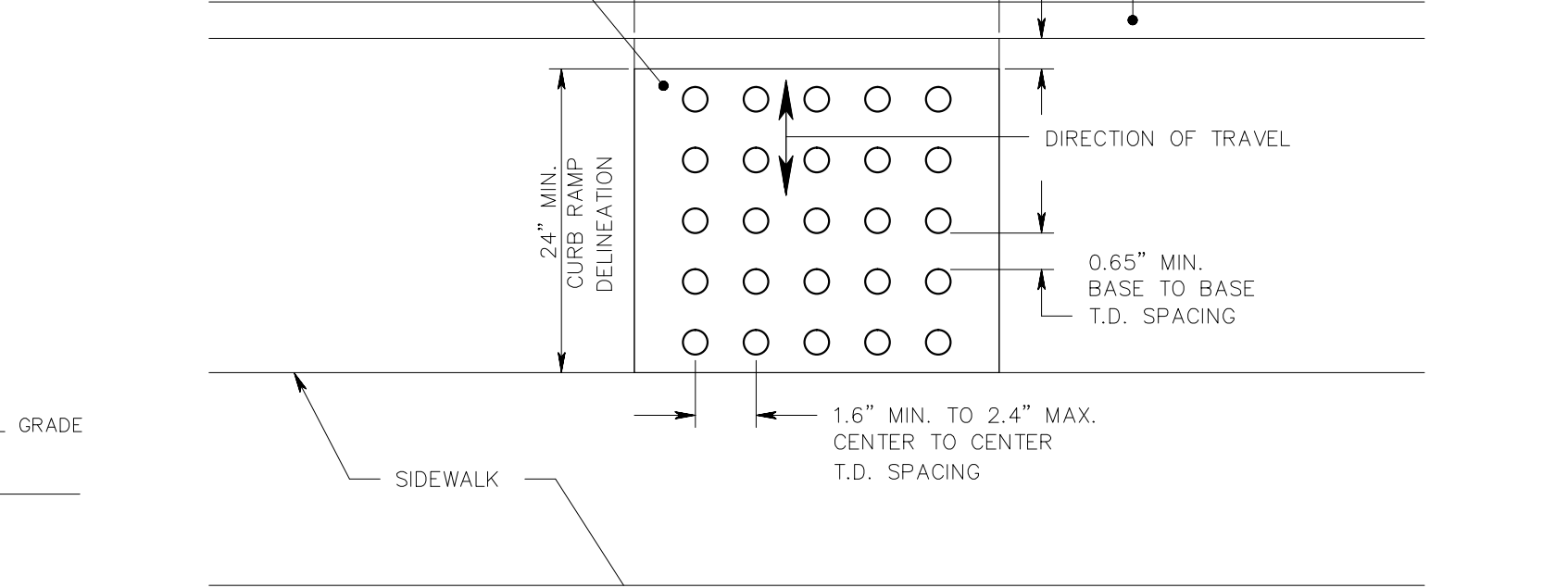
**48\"/>**



**FIRE LANE PARKING**  
SCALE N.T.S.



**DETECTABLE WARNING SURFACE DETAIL**  
SCALE N.T.S.



**TYPICAL HANDICAP PAVEMENT MARKINGS**  
SCALE N.T.S.

**CONSTRUCTION DETAILS**

**STARBUCKS**  
30 POMPTON AVENUE  
LOT 44 BLOCK 202

TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY

Bright View Engineering  
Moving you forward

DRAWING NO. SHEET SP-7 OF 7

BRIGHT VIEW ENGINEERING, LLC  
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NJ LIC. NO. 46134 DATE 2024/04/09

CREAT. OF AUTH. No.: 24GA028283000

REVISIONS	BY	DATE